

AGENDA - IHAP

Meeting:	Georges River Independent Hearing Assessment Panel (IHAP)
Date:	Thursday, 24 November 2016
Time:	4pm
Venue:	Hurstville Civic Centre, MacMahon Street, Hurstville
Participants:	Paul Vergotis – Chairperson Gabrielle Morrish – Panel Member Juliet Grant – Panel Member Chris Young - Community Representative
Additional Invitees:	Meryl Bishop Director – Environment and Planning

1. On Site Inspections - 1.00pm –3.30pm

Break - 3.30pm

2. Speakers 4.00pm–6.00pm -

Public Meeting Session Closed - 6.00pm
(Break – Light Supper served to Panel Members)

3. Reports and IHAP Deliberations in Closed Session - 6.30pm

Item:	DA No:	Address:	Description:
3.1	PP2016/0001	87 and 89 The Avenue, Hurstville	Planning Proposal - Danebank School
3.2	PP2014/0004	108, 112 and 124 Forest Road and 1 and 3 Wright Street, Hurstville - Planning Proposal to amend Hurstville Local Environmental Plan (HLEP) 2012	Planning Proposal
3.3	PP2014/0002	93-103 Forest Road Hurstville - East Quarter Site	Planning Proposal

3.4	DA2016/0026	35-39 Ocean Street, Kogarah	Demolition of existing dwellings and construction of multi-dwelling housing development with basement parking and strata subdivision
3.5	DA2016/0078	19-23 Bembridge Street, Carlton	Demolition of existing dwellings and construction of a five storey residential apartment building with (23) units, basement parking and strata subdivision
3.6	DA2015/0355	23 Marine Drive Oatley	Demolition of existing, tree removal, construction of two-three storey dwelling with swimming pool and outbuilding to rear

4. Confirmation of Minutes by Chair

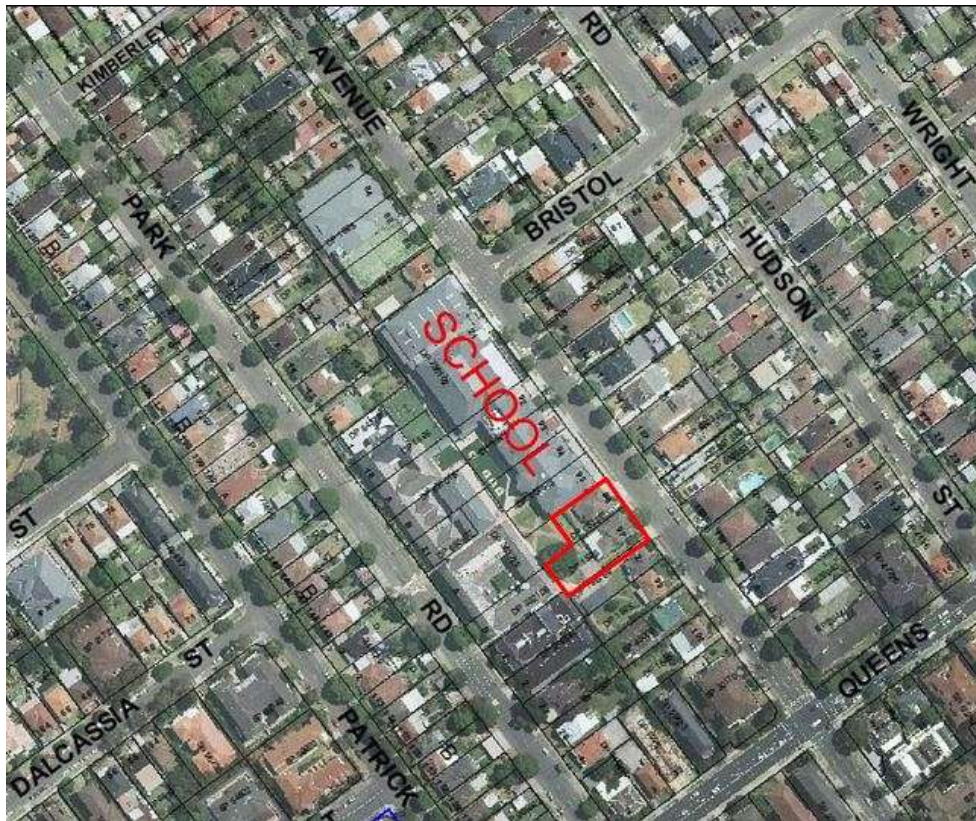
MINUTES: GEORGES RIVER INDEPENDENT HEARING ASSESSMENT PANEL (IHAP) - 27 OCTOBER 2016 ()

REPORT TO GEORGES RIVER COUNCIL IHAP MEETING OF THURSDAY, 24 NOVEMBER 2016

IHAP Report No	3.1	Development Application No	PP2016/0001
Site Address & Ward Locality	87 and 89 The Avenue, Hurstville Hurstville Ward		
Proposal	Planning Proposal - Danebank School		
Report Author/s	Independent Assessment, Consultant Planner and Manager Strategic Planning, Carina Gregory		
Owners	Sydney Anglican Schools Corporation		
Applicant	Sydney Anglican Schools Corporation		
Zoning	R2 Low Density Residential, Hurstville LEP 2012		
Date Of Lodgement	3/03/2016		
Submissions	One		
Cost of Works	N/A		
Reason for Referral to IHAP	For consideration of public exhibition of the Planning Proposal		

Recommendation	<p>That the Georges River IHAP note the public exhibition of the Planning Proposal PP2016/0001 and comments received.</p> <p>That the amendment to the Hurstville Local Environmental Plan 2012 to rezone two (2) lots within the Danebank School (87 and 89 The Avenue, Hurstville) from R2 Low Density Residential to SP2 Infrastructure (Educational Establishments) and remove the minimum lot size, maximum building height and maximum FSR controls consistent with SP2 Infrastructure zoning be supported.</p> <p>That a report to Council be prepared to advise of the IHAP recommendations and request that Council resolve to support the Planning Proposal and the finalisation of the draft amendment to the Hurstville Local Environmental Plan 2012 in accordance with Section 59 of the Environmental Planning and Assessment Act, 1979.</p>
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Site Plan



Executive Summary

1. Sydney Anglican Schools Corporation submitted a request that Council prepare a Planning Proposal request to change the zoning of two (2) lots within the Danebank School campus (No.87 and No.89 The Avenue, Hurstville) from R2 Low Density Residential to SP2 Infrastructure (Educational Establishments) and remove the development standards (minimum lot size, maximum building height and maximum floor space ratio "FSR") consistent with the majority of land within the Danebank School campus.
2. The Planning Proposal was considered at the Georges River Independent Hearing and Assessment Panel ("IHAP") 21 June 2016 meeting and Georges River Council meeting of 4 July 2016 and subsequently received a Gateway Approval from the Department of Planning and Environment on 19 August 2016 with six (6) months to finalise the draft Local Environmental Plan.
3. The Planning Proposal was placed on public exhibition from 14 September to 14 October 2016. No community submissions were received during the exhibition period and one (1) public authority submission was received from the Office of Environment and Heritage. A phone conversation with the Department of Education confirmed no objection to the Planning Proposal.
4. This report recommends that the IHAP support the proposed changes as exhibited to the Hurstville Local Environmental Plan 2012 ("LEP 2012") for the Subject Site (No.87 and No.89 The Avenue, Hurstville):

- rezone from R2 Low Density Residential to SP2 Infrastructure (Educational Establishments) (refer Attachment 1)
 - remove the minimum lot size of 450m² and identify no minimum lot size (refer Attachment 2)
 - remove the maximum building height of 9m and identify no maximum building height (refer Attachment 3)
 - remove the maximum FSR of 0.6:1 and identify no maximum FSR (refer Attachment 4).
5. Both No.87 and No.89 The Avenue include Federation and Inter-War Period Houses which are both identified as heritage items in the Hurstville LEP 2012; no change to this heritage listing is proposed. Consideration of the heritage significance of the sites and the comments made by the Office of Heritage is provided below.
6. No development applications are currently being considered on the Subject Site.
7. An independent planning consultant has been contracted for the Planning Proposal assessment, including the preparation of this report.

Report Details

Proposal

8. The request to prepare a Planning Proposal (PP2016/0001) for two (2) lots within the Danebank School (No.87 and No.89 The Avenue, Hurstville) was submitted by the Sydney Anglican Schools Corporation on 3 March 2016. The Planning Proposal requested that two (2) lots currently zoned R2 Low Density Residential be rezoned to SP2 Infrastructure (Educational Establishments) and the minimum lot size, maximum building height and maximum floor space ratio ("FSR") development standards removed, consistent with all SP2 Infrastructure zoned land. The proposed changes will acknowledge the "educational establishment" use of the site and allow for this use to continue as the Danebank School.
9. The proposed zoning and development standard changes are shown in Attachments 1-4 and extracts below.



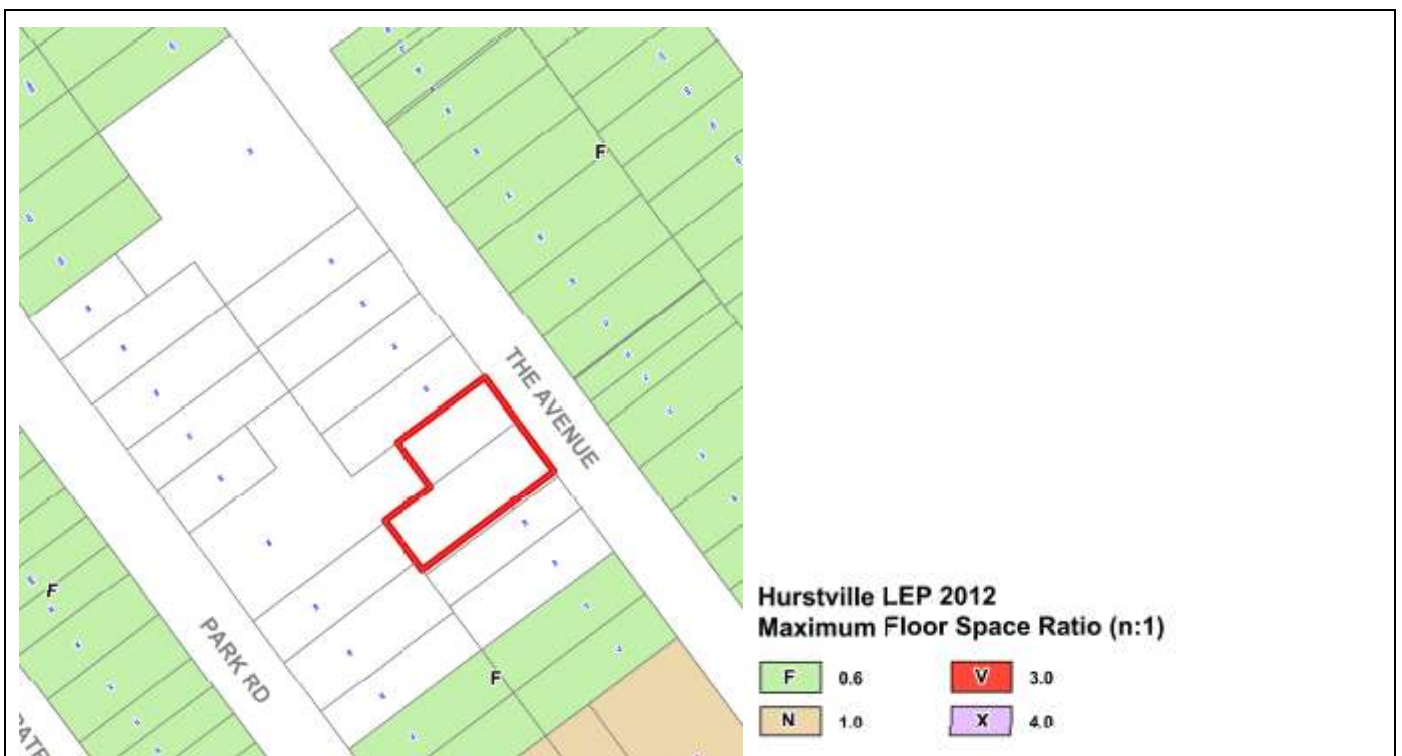
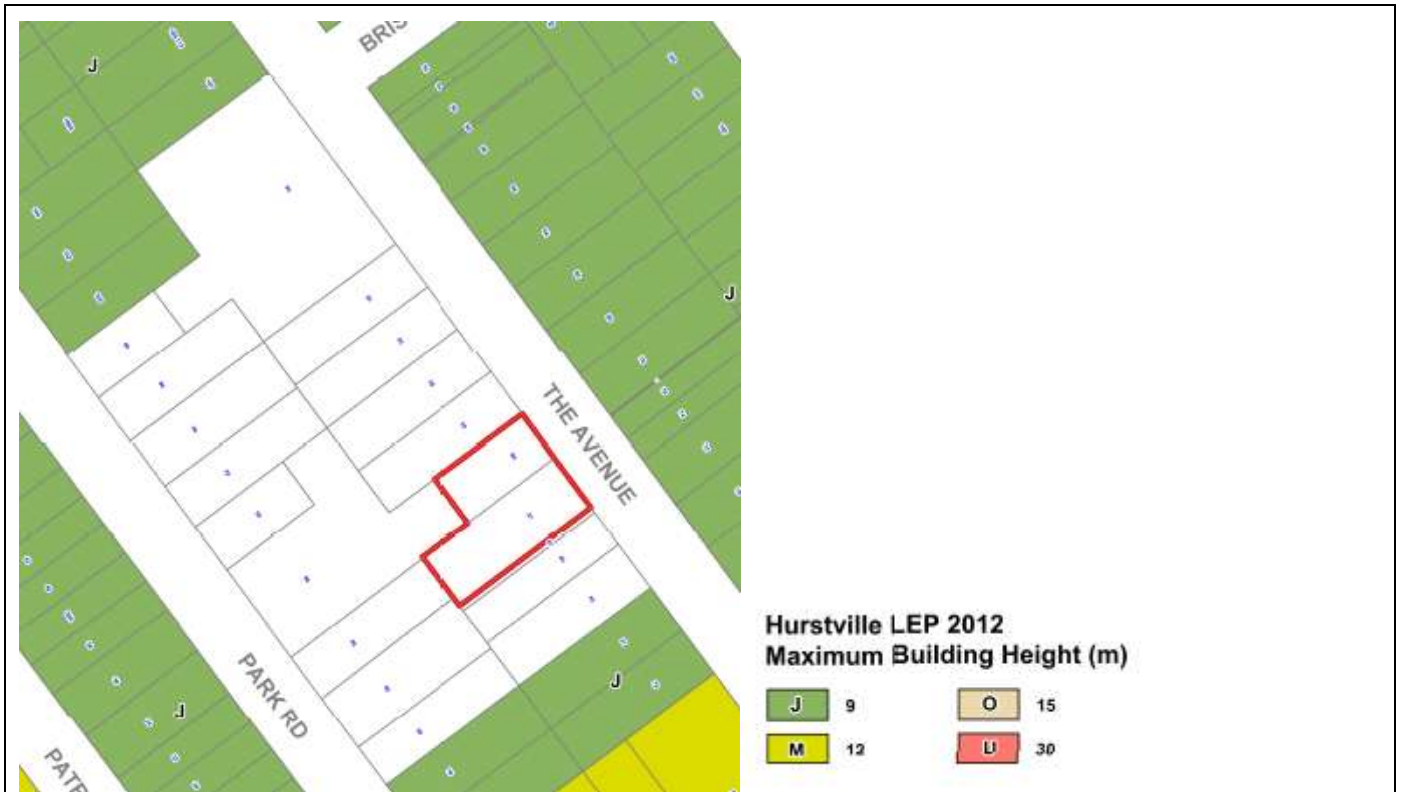
Hurstville LEP 2012 Zones

R2	Low Density Residential	B4	Mixed Use
R3	Medium Density Residential		
SP2	Infrastructure		



Hurstville LEP 2012 Minimum Lot Size

G	450 sq m
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The Site and Locality

10. The Subject Site includes two (2) lots with a combined area of approximately 1,302m² which are known as No. 87 and No. 89 The Avenue, Hurstville and comprise:
 - Lot 97 in DP 1595 (No. 87 The Avenue) is a rectangular shaped lot which measures approximately 820m² and has a frontage of approximately 17.5m to The Avenue and a depth of 47m.

- Lot 96 in DP 663361 (No. 89 The Avenue) is a rectangular shaped lot which measures approximately 482m² and has a frontage of approximately 15.5m to The Avenue and a depth of 31m.
11. No. 87 The Avenue also includes approximately 2m wide parcel of land (Lot 1 DP166769), adjacent to No. 85 The Avenue. This land is not part of the Planning Proposal as it is currently zoned SP2 Infrastructure and has no maximum building height, maximum FSR or minimum lot size consistent with the majority of the Danebank School site.
 12. As detailed in the previous report to the Georges River IHAP, both No.87 and No.89 The Avenue are identified as heritage items in the Hurstville LEP 2012. This heritage listing is not proposed to change.
 13. As detailed the IHAP Report (21 June 2016), the Hurstville LEP 2012 applies to the Subject Site and the following provisions currently apply:
 - Land zoning: R2 Low Density Residential
 - Lot Size: minimum subdivision lot size of 450m²
 - Height: maximum building height of 9m
 - FSR: maximum FSR of 0.6:1
 - Heritage: the two (2) lots are identified as items of environmental heritage (Item 51 and Item 52).

Background

14. The majority of land within the Danebank School campus is zoned SP2 Infrastructure (Educational Establishment); the remaining lots are zoned R2 Low Density Residential (consistent with the surrounding residential area). A recent amendment (rezoning to SP2 Infrastructure and removal of development standards) to the Hurstville LEP 2012 (PP2015/0003) for No.80 Park Road and No.83 The Avenue, also within the Danebank School campus, was finalised on 30 September 2016.
15. The Planning Proposal was considered at the Georges River Independent Hearing and Assessment Panel (“IHAP”) 21 June 2016 meeting and Georges River Council meeting of 4 July 2016 and subsequently received a Gateway Approval from the Department of Planning and Environment on 19 August 2016, with six (6) months to finalise. The Planning Proposal was placed on public exhibition as detailed below.

Public Exhibition

16. The Planning Proposal was placed on public exhibition from 14 September to 14 October 2016 in accordance with the Gateway Approval (which require exhibition for a minimum of 28 days) and exhibition material (including a plain English explanation, land to which the Planning Proposal applies, description of objectives and intended outcomes, copy of the Planning Proposal and relevant maps) was provided during the exhibition period on the Georges River Council website and printed copies were available at:
 - Hurstville Service Centre and Kogarah Service Centre.
 - Hurstville City Library and Penshurst Branch Library.

17. Notification of the public exhibition was provided through:
 - Newspaper advertisement in The St George and Sutherland Shire Leader
 - Exhibition notice and material on Council's website.
 - Notices in council offices (Hurstville and Kogarah Service Centres) and Hurstville and Penshurst Libraries.
 - Letter to NSW Department of Education and Office of Environment and Heritage as specified in the Gateway Determination.
 - Letters to adjoining landowners (in accordance with Council's Notification Procedures).
18. During the public exhibition period no submissions were received from the community.
19. Consultation with the NSW Department of Education and Office of Environment and Heritage was undertaken (also in accordance with the Gateway Determination); no submission was received from the Department of Education. A phone conversation on 19 October 2016 with the Department of Education confirmed no objection to the Planning Proposal.
20. The Office of Environment and Heritage stated in its submission:

It is noted that both sites are identified as locally significant heritage items (I51 and I52) within Schedule 5 of the Hurstville LEP 2012. The house formerly known as 'Oikos' on 87 The Avenue is significant for the representative values as a Federation style cottage reflecting the development of the area following subdivision of the Hurstville Park Estate in 1885 and contributes to the streetscape character of The Avenue. Similarly, 'Sylvan' at 89 The Avenue, Hurstville demonstrates the phases of development in Hurstville dating back from the Victorian and Federation periods to the Inter-War period.

Given that the heritage items are of local significance Georges River Council is the consent authority. It is recommended that Georges River Council give consideration to any adverse impact the proposed changes and any potential future development on the subject sites would have on the locally listed items and especially on the streetscape character of The Avenue.
21. The removal of the development standards (lot size, height and FSR) from the two (2) lots within the Danebank School (No.87 and No.89 The Avenue) is consistent with all other land zoned SP2 Infrastructure under the Hurstville LEP 2012, including sites which contain heritage items. The Planning Proposal does not propose the 'delisting' of these heritage items.
22. It is noted that there are 13 heritage items currently zoned SP2 Infrastructure under the Hurstville LEP 2012 and where no development standards apply (minimum lot size, maximum building height and maximum FSR). These items include schools, churches, railway stations and water infrastructure.

23. Any future development application on the site will need to consider the heritage provisions contained in the Hurstville LEP 2012 (clause 5.10 Heritage conservation) in the assessment. It is noted that consultation with Council is required under SEPP (Infrastructure) 2007 in relation to development with impacts on local heritage.
24. No change to the amendments proposed in the Planning Proposal is recommended.
25. No planning agreement has been offered and is not warranted in this instance. The Planning Proposal's zoning change from R2 Low Density Residential to SP2 Infrastructure provides a more restrictive zoning and limits the type of development on the site to "educational establishments", consistent with the sites current and future use as the Danebank School.

Conclusion and Next Steps

26. This report recommends that the IHAP support the following proposed changes to the Hurstville LEP 2012 for the Subject Site (No.87 and No.89 The Avenue, Hurstville) as exhibited:
 - Amend the Land Zoning Map to rezone the Subject Site from R2 Low Density Residential to SP2 Infrastructure (Educational Establishments) as shown in the proposed Land Zoning Map in Attachment 1.
 - Amend the Minimum Lot Size Map to remove the minimum lot size of 450m² and identify no minimum lot size for the Subject Site, consistent with the SP2 Infrastructure zoned land as shown in the Lot Size Map in Attachment 2.
 - Amend the Height of Buildings Map to remove the maximum building height of 9m and identify no maximum building height for the Subject Site, consistent with the SP2 Infrastructure zone land as shown in the proposed Building Height Map in Attachment 3.
 - Amend the Floor Space Ratio Map to remove the maximum floor space ratio of 0.6:1 and identify no maximum floor space ratio for the Subject Site, consistent with the SP2 Infrastructure zoned land as shown in the proposed Floor Space Ratio Map in Attachment 4.
27. The key reasons for supporting the Planning Proposal include that the:
 - Proposed SP2 Infrastructure (Educational Establishment) zoning and changes to the principal development standards will provide consistent zoning and planning controls across the majority of land within the Danebank School campus and reflect the existing and future school use of the site.
 - Proposed zoning change, and the consequent reduction in R2 Low Density Residential zoned land, will not impact on the supply of residential accommodation in the LGA. The Subject Site has been owned and used by Danebank School for school-related purposes.
 - Rezoning will provide for long-term certainty for the existing Danebank School, as well as provide for the current and likely future needs of educational facilities in the Georges River Council area.

- The heritage provisions of the Hurstville LEP 2012 (clause 5.10 Heritage conservation) must be considered in any future development application on the Site. It is also noted that consultation with Council is required under SEPP (Infrastructure) 2007 in relation to development with impacts on local heritage.
 - No community submissions were received during the public exhibition and one (1) public authority submission received from Office of Environment and Heritage (as considered above) and no objection was made by the Department of Education.
28. The advice from the Department of Planning and Environment at the issuing of the Gateway Determination (19 August 2016) confirmed that Council may exercise its delegation for the finalisation of the Planning Proposal and consult directly with the Parliamentary Counsel's Office in relation to the drafting and finalising of the Local Environmental Plan under section 59 of the *Environmental Planning and Assessment Act 1979*.
29. The Department of Planning and Environment requested that it be informed of the progress of the Planning Proposal and its finalisation. The Department of Education and Office of Heritage and Environment will also be advised of Council's decision and the finalisation of the Planning Proposal.
30. If the IHAP supports the report recommendations, a separate report will be prepared for the next Georges River Council meeting to advise the outcomes and recommendations of this IHAP meeting and request that Council (as the 'relevant planning authority') resolve to support the Planning Proposal and the finalisation of the draft amendment to the Hurstville Local Environmental Plan 2012 in accordance with section 59 of the *Environmental Planning and Assessment Act 1979* in accordance with Council's delegation for the finalisation of the Planning Proposal. The Department of Planning and Environment, Department of Education and Office of Heritage will be advised of the Council's decision.

ATTACHMENTS

- | | |
|----------------------------------|---|
| Attachment View1 | Danebank School - Proposed Zoning Map |
| Attachment View2 | Danebank School - Proposed Lot Size Map |
| Attachment View3 | Danebank School - Proposed HOB Map |
| Attachment View4 | Danebank School - Proposed FSR Map |









REPORT TO GEORGES RIVER COUNCIL

IHAP MEETING OF THURSDAY, 24 NOVEMBER 2016

IHAP Report No	3.2	Development Application No	PP2014/0004
Site Address & Ward Locality	108, 112 and 124 Forest Road and 1 and 3 Wright Street, Hurstville - Planning Proposal to amend Hurstville Local Environmental Plan (HLEP) 2012 Hurstville Ward		
Proposal	Planning Proposal		
Report Author/s	Coordinator Strategic Planning, Rita Vella		
Owners	Slh 108 Pty Ltd (108, 112 Forest Road and 1 Wright Street), Shanghai Lihua Hurstville Pty Ltd (124 Forest Road), The Estate of Mrs E M Gehringer (3 Wright Street)		
Applicant	Mr Tony Polvere		
Zoning	Zone B4 – Mixed Use Zone; Zone B2 – Local Centre Zone; R3 – Medium Density Residential Zone		
Date Of Lodgement	4/12/2014		
Submissions	N/A		
Cost of Works	N/A		
Reason for Referral to IHAP	In accordance with IHAP Charter		

Recommendation	<p>THAT the Georges River IHAP support the forwarding of the Planning Proposal to the NSW Department of Planning and Environment to request a Gateway Approval for an amendment to the Hurstville Local Environmental Plan 2012 in relation to Nos. 108, 112 and 124 Forest Road and Nos 1 and 3 Wright Street, Hurstville to:</p> <ul style="list-style-type: none"> ▪ Amend the Land Zoning Map (LZM) to rezone Nos 108 and 112 Forest Road Hurstville from B2 - Local Centre Zone to B4 – Mixed Use Zone; ▪ Amend the Land Zoning Map (LZM) to rezone Nos 1 - 3 Wright Street, Hurstville from R3 - Medium Density Residential Zone to B4 - Mixed Use Zone; ▪ Amend the Height of Building map (HOB) to increase the height of buildings for Nos 108 and 112 Forest Road and 1 and 3 Wright Street, Hurstville to 34m; ▪ Amend the Height of Buildings map (HOB) to increase the height of buildings for No 124 Forest Road, Hurstville to 46.5m; ▪ Amend the floor space ratio map (FSR) to increase the maximum floor space ratio for Nos 108 and 112 Forest Road and Nos 1 and 3 Wright Street, Hurstville to 4:1; and
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- Amend the Lot Size Map (Sheet LSZ_008) to remove Nos. 1 and 3 Wright Street Hurstville from its application and consistent with the B4 - Mixed Use zone; and
- Amend Clause 4.4A of HLEP 2012 to include the a provision relating to the subject site stating that development consent must not be granted for development unless the non – residential floor space is at least 0.5:1.

THAT the Georges River IHAP also support the following:

- (a) The preparation of an amendment to the *Hurstville Section 94 Development Contributions Plan 2012* to include 108 Forest Road, 112 Forest Road and 1 and 3 Wright Street in the boundaries of the Hurstville City Centre to reflect the proposed B4 Mixed Use zoning of the land; and
- (b) The preparation of an amendment to the *Hurstville Development Control Plan No. 2 - Hurstville City Centre (Amendment No. 6)* to include the subject site within the boundary of the Hurstville City Centre and site specific provisions including (but not limited to), setbacks to the adjoining residential development, street activation provisions and vehicular access points, building massing and form as well as provisions to upgrades to public domain, provide deep soil landscaped areas and through site connections and linkages.

Site Plan



EXECUTIVE SUMMARY

1. The former Hurstville City Council received the original Planning Proposal request (PP2014/0004) for Nos 108, 112 and 124 Forest Road, Hurstville, which is at the edge of the Hurstville City Centre on 4 December 2014.
2. The Planning Proposal has a long history with a number of revisions – this is as a result of a Council’s resolution in May 2015 which requested that Council staff work with the applicant to deliver a mutually acceptable solution for the site.
3. The initial Planning Proposal requested the following:
 - Zoning change for part of the site from B2 - Local Centre to B4 - Mixed Use zone;
 - Increase in height from 9m and 23m to 42m and 60m; and
 - Increase in floor space ratio from 1.5:1 and 4:1 to 6.6:1.
4. On 6 May 2015, the former Hurstville City Council considered a report on the Planning Proposal request.
5. The Council officer’s report recommended that the request for increased height and FSR not be supported as it represented an over-development of the site and lacked urban design justification.
6. Subsequently, Council at this meeting resolved the following:

“THAT the matter be deferred for a period of 2 months and for the applicant to work with Officer’s for a mutually acceptable solution.”

In July 2015, the applicant amended the Planning Proposal to include additional two (2) lots to the Planning Proposal (Nos 1 and 3 Wright Street, Hurstville), which are currently zoned R3 - Medium Density Residential (known as Revision 2).
7. Since 2015, Council’s Strategic Planning officers have been working with the applicant to resolve the issues identified. A number of revisions to the Planning Proposal have been submitted and this report is the subject of **Revision 6** which was submitted to Council on 11 March 2016.
8. In summary, **Revision 6** proposes the following:

Amend Hurstville Local Environmental Plan (LEP) 2012 in relation to the subject site by:

- Rezoning Nos 108 and 112 Forest Road Hurstville from B2 - Local Centre to B4 – Mixed Use zone
- Rezoning Nos 1 - 3 Wright Street, Hurstville R3 - Medium Density Residential zone to B4 - Mixed Use zone
- Retain the existing B4 - Mixed Use zone for 124 Forest Road, Hurstville;

- Increasing the maximum building height for 108 and 112 Forest Road and 1 and 3 Wright Street Hurstville from 9m and 12m to 34.5m
 - Increasing the maximum building height for 124 Forest Road from 23m to 46.5m; and
 - Increasing the maximum floor space ratio for 108 and 112 Forest Road and 1 and 3 Wright Street Hurstville from 1:1 and 1.5:1 respectively to 4:1 and retaining the maximum floor space ratio for 124 Forest Road Hurstville of 4:1.
9. **Revision 6** also includes an indicative development concept showing a mixed-use development varying in height from 10 to 14 storeys with 217 residential apartments and 1,150m² of retail floor space, which the report states will generate 113 jobs.
10. The subject site currently accommodates 4707m² of retail/commercial floor space
11. Various revisions of the Planning Proposal have been referred to the St George Design Review Panel (DRP), and it has been considered formally on three (3) occasions (2 August 2015, 19 November 2015 and 18 February 2016).
12. **Revision 6** was considered by the DRP on 18 February 2016.
13. The Planning Proposal has also been had an independent Urban Design Review, undertaken by GM Urban Design and Architecture Pty Ltd (GMU) and has been modelled in the former Hurstville Council's Traffic Model for the Hurstville City Centre ("TMAP").
14. It is recommended, based on the assessment of **Revision 6** that the Planning Proposal be submitted to the NSW Department of Planning & Environment with the following changes:
- Amend the Land Zoning Map (LZM) to rezone Nos 108 and 112 Forest Road Hurstville from B2 - Local Centre to B4 – Mixed Use zone;
 - Amend the Land Zoning Map (LZM) to rezone Nos 1 - 3 Wright Street, Hurstville from R3 - Medium Density Residential zone to B4 - Mixed Use zone;
 - Amend the Height of Building map (HOB) to increase the height of buildings for Nos 108 and 112 Forest Road and 1 and 3 Wright Street, Hurstville to 34m;
 - Amend the Height of Buildings map (HOB) to increase the height of buildings for No 124 Forest Road, Hurstville to 46.5m;
 - Amend the floor space ratio map (FSR) to increase the maximum floor space ratio for Nos 108 and 112 Forest Road and Nos 1 and 3 Wright Street, Hurstville to 4:1; and
 - Amend the Lot Size Map (Sheet LSZ_008) to remove Nos. 1 and 3 Wright Street Hurstville from its application and consistent with the B4 - Mixed Use zone.

15. **Revision 6** is also accompanied by a Voluntary Planning Agreement which is subject to a separate report

REPORT IN FULL

1. INTRODUCTION

16. This report provides an assessment of a Planning Proposal request relating to Nos 108, 112 and 124 Forest Road and 1 and 3 Wright Street, Hurstville (the subject site) to amend Hurstville Local Environmental Plan (HLEP) 2012 by changing the zoning and increasing the maximum building height and floor space ratio.
17. The subject site has a total site area of 5,407m² and is situated on the northern side of Forest Road between Wright Street and Hudson Street, Hurstville (refer to Figure 1).
18. The applicant for the Planning Proposal request is Tony Polvere.
19. There have been six (6) revisions to the Planning Proposal since it was lodged in 2014. For the purposes of this report, the Planning Proposal will be referred to as **Revision 6**.
20. In summary, **Revision 6** was lodged on 11 March 2016 and requests the following:
- Rezone Nos 108 and 112 Forest Road from B2 Local Centre and 1 and 3 Wright Street from R3 - Medium Density Residential zone to B4 - Mixed Use zone;
 - Increase the maximum building height of Nos 108, 112 and 124 Forest Road and 1 and 3 Wright Street from a range of 9m, 12m and 23m to **34.5m and 46.5m**;
 - Increase the maximum floor space ratio from 1:1 (Nos 1 and 3 Wright Street) and 1.5:1 (Nos 108 and 112 Forest Road) to **4:1** and retain the maximum FSR of 4:1 for 124 Forest Road Hurstville
 - No change is proposed to the existing B4 - Mixed Use zone and maximum FSR of 4:1 for No 124 Forest Road, Hurstville.
21. **Revision 6** proposes a mixed-use development (predominantly residential) varying in height from 10 to 14 storeys with 217 residential apartments and 1,150m² of retail space.
22. The applicant's indicative development concept plans includes two (2) towers (10 storeys and 14 storeys) above a four (4) storey podium. The development is setback from the adjoining 3-4 storey residential flat buildings to the north and proposes a north facing communal open space.
23. The indicative development concept also provides for a 2m wide road dedication along the Forest Road frontage.
24. A copy of **Revision 6** and the supporting material, including the indicative concept plans is included in **Appendix 1**.

2. SITE DESCRIPTION

2.1 The Subject Site

25. The subject site fronts Forest Road, Wright Street and Hudson Street and is located on the eastern edge of the Hurstville City Centre.
26. It comprises five lots, being Nos 108, 112 and 124 Forest Road and 1 and 3 Wright Street, Hurstville as identified in Table 1- Site Description below. The subject site has a total area of approximately 5,407m² with the following frontages on three streets – Forest Road (90.6m), Hudson Street (49.3m) and Wright Street (70.9m).

Table 1 – Site Description

Property Address and current use	Lot/DP	Site Area (m ²)
108 Forest Road Hurstville (Car mechanical repairs and tyre service)	Lot 1, DP78322	741
112 Forest Road Hurstville (Engineering and tool making)	Lot 1, DP75572	903
124 Forest Road Hurstville (Ground Floor includes a gym, Dick Smith and Bing Lee tenancies. First floor includes coaching schools and other commercial offices.)	Lot 531, DP777334	2,771
1 Wright Street Hurstville (Dwelling house)	Lot 55, DP78322	496
3 Wright Street Hurstville (Dwelling house)	Lot 54, DP78322	496
Total Site Area		5,407m²

(Source: Planning Proposal - PPD Planning Consultants - Revision 6 - March 2016)



Hudson Street frontage



Forest Road frontage



Wright Street frontage

2.2 Site Context

27. No. 124 Forest Road, Hurstville is located in Hurstville City Centre while Nos. 1 and 3 Wright Street and 108 and 112 Forest Road, Hurstville are located on the edge of the area identified as Hurstville City Centre.
28. The subject site is situated approximately 530m from Allawah Station and 650m from Hurstville Railway Station. The site surrounds are described as follows:

- **North:** To the north along Hudson Road and Wright Street are 3-4 storey residential flat buildings.
- **South:** Opposite the subject site on the southern side of Forest Road is the East Quarter site. Stages 1 and 2 of this development are complete. A Planning Proposal for Stage 3 of the development of the site was supported by the former Hurstville Council at its meeting on 18 March 2015. A report on the East Quarter Site Planning Proposal is to be presented to the IHAP Meeting on 24 November 2016.

This Planning Proposal requests two towers - 30m (8 storeys) and 65m (20 storeys) high, 379 residential units and 4,735m² of commercial floor space on ground level, of which approximately 3600m² has been identified for a supermarket.

- **East:** To the east of the subject site are industrial uses which are accommodated in one and two storey buildings between Forest Road and Durham Street. A Planning Proposal on the industrial site was supported by the former Hurstville Council on 20 April 2016.

This Planning Proposal requested to rezone the site from part IN2 - Light Industrial zone and part R2 - Low Density Residential zone to B4 - Mixed Use zone and includes a range of heights from 25m to 65m. The Planning Proposal has been submitted to the Department of Planning and Environment for Gateway determination. A response has been received from the Department requesting additional information on the built form outcomes for the site.

- **West:** To the west of the subject site are two-storey shops and commercial offices.

2.3 Existing Planning Controls

29. The HLEP 2012 applies to the subject site and the following provisions are relevant to **Revision 6:**

HLEP 2012 Clause	Affectation
Zoning	The subject site is zoned part R3 - Medium Density Residential zone (1 and 3 Wright Road), B2 - Local Centre zone (108 and 112 Forest Road) and B4 - Mixed Use zone (124 Forest Road) as shown in Figure 2 below.
Clause 4.1 – Minimum subdivision lot sizes	Nos. 1 and 3 Wright Street are currently zoned R3 - Medium Density Residential zone and have a minimum lot size of 450m ² as shown in Figure 7 below.
Clause 4.3 - Height of Buildings (HOB)	The subject site has a maximum building height of 9m, 12m and 23m as shown in Figure 3 below.
Clause 4.4 - Floorspace Ratio (FSR)	The subject site has a maximum floor space ratio of 1:1, 1.5:1 and 4:1 as shown in Figure 4 below.
Clause 4.4A - Exceptions to floor space ratios for buildings on land in certain zones	This provision currently applies to land in the B1 – Neighbourhood Centre zone and B2 – Local Centre zone and requires a non-residential floor space ratio of 0.5:1. Council recently considered and endorsed an amendment to Clause 4.4A to reduce non-residential FSR in the B1 and B2 zone to 0.3:1.
Clause 5.10 - Heritage	Two heritage items are in the vicinity of the subject site - No 140-142 Forest Road, Hurstville (shop and residence) and No 144 Forest Road, Hurstville (St George Anglican Church) as shown in Figure 5 below.
Clause 6.6 - Active Street Frontage	The subject site has active frontages along Forest Road and Hudson Street as shown in Figure 6 below

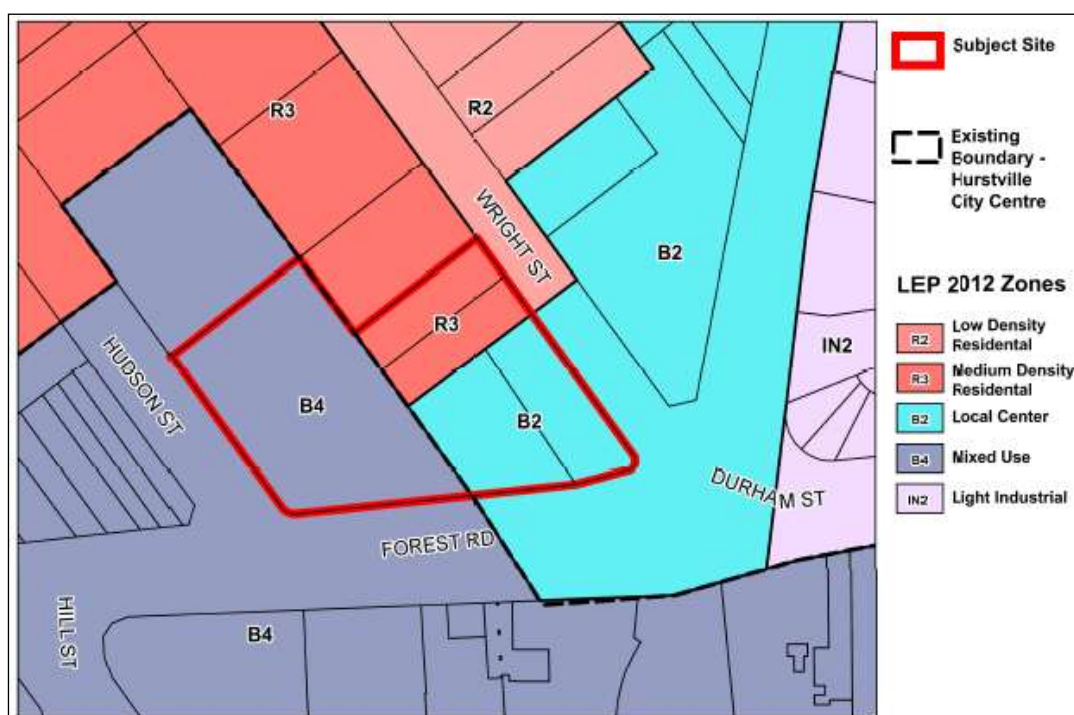


Figure 2: Land Zoning Map Extract adapted from Hurstville LEP 2012

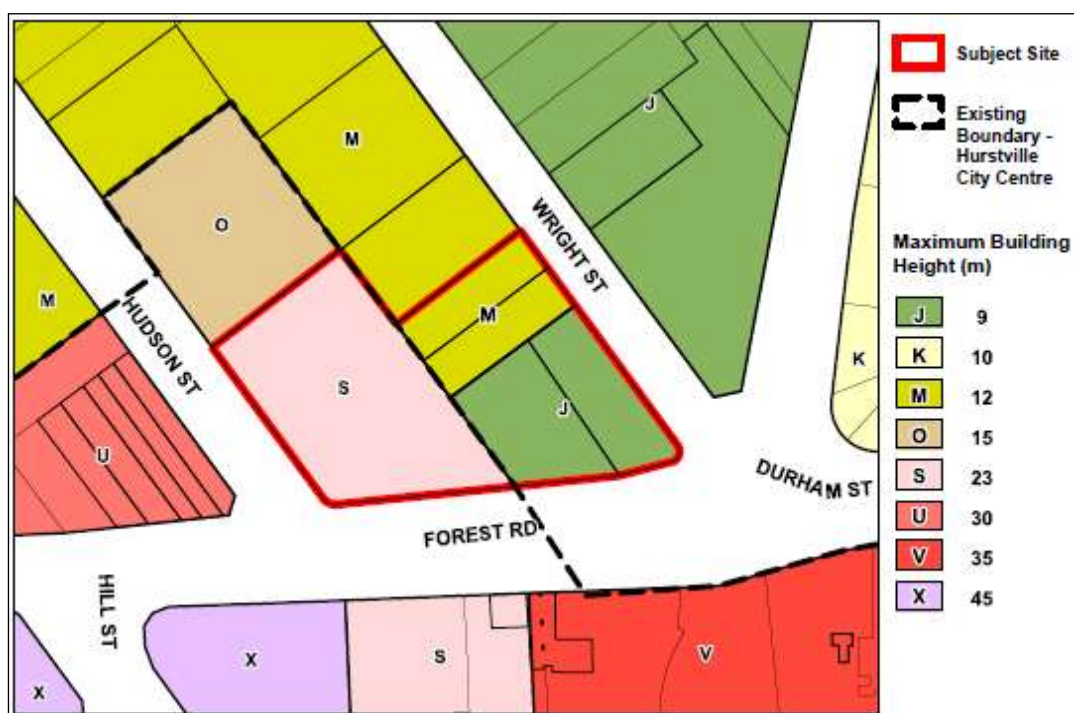


Figure 3: Height of Buildings Map Extract adapted from Hurstville LEP 2012

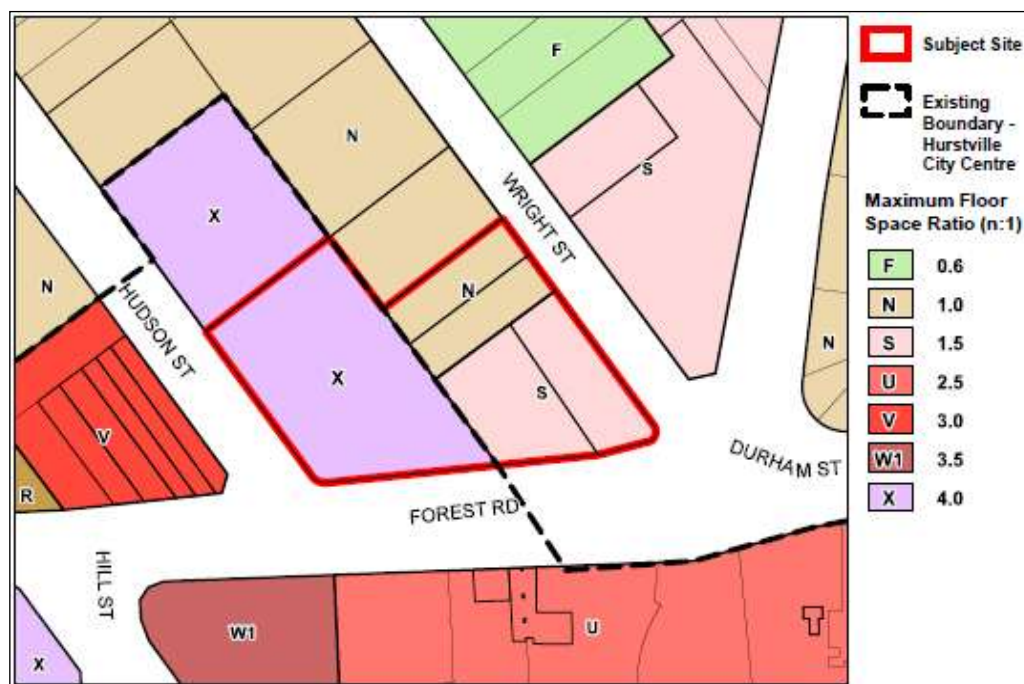


Figure 4: Floor Space Ratio Map Extract adapted from Hurstville LEP 2012

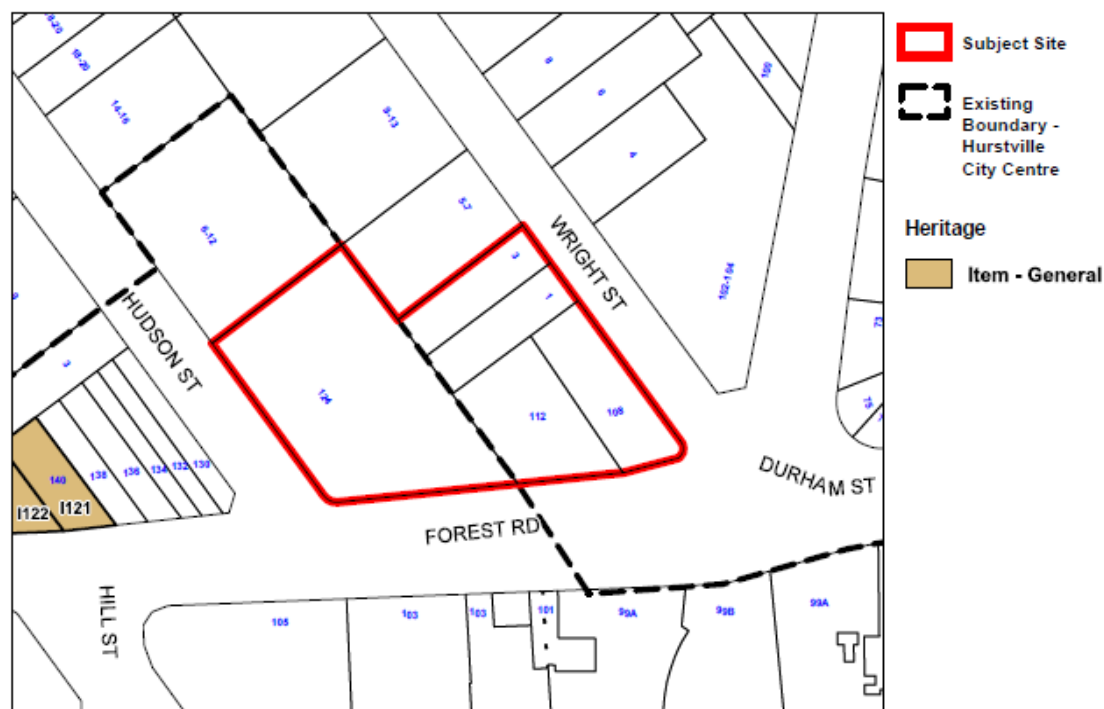


Figure 5: Heritage Map Extract adapted from Hurstville LEP 2012



Figure 6: Active Street Frontage Map Extract adapted from Hurstville LEP 2012



Figure 7: Lot Size Map Extract adapted from Hurstville LEP 2012

3. APPLICANT'S PLANNING PROPOSAL REQUEST

3.1 Description of Planning Proposal Request

30. In summary, **Revision 6** requests an amendment to HLEP 2012 as outlined in Table 2 below:

Property	Current Controls in HLEP 2012	Planning Proposal request
108 & 112 Forest Road (1,644m ²)	B2 Local Centre zone 9m (2 storeys) 1.5:1 (2,466m ²)	B4 Mixed Use zone 34.5m (10 storeys) 4:1 (6,576m ²)
1 and 3 Wright Street (992m ²)	R3 Medium Density Residential zone 12m (3 storeys) 1:1 (992m ²)	B4 Mixed Use zone 34.5m (10 storeys) 4:1 (3,968m ²)
124 Forest Road (2,771m ²)	B4 Mixed Use zone 23m (6 storeys) 4:1 (11,084m ²)	B4 Mixed Use zone (No change) 46.5m (14 storeys) 4:1 (No change) (11,084m ²)

Table 2: Summary of Current Controls and controls in Planning Proposal request (Revision 6)

31. The proposed amendments, as identified in Table 2 above are shown in Figures 8 – Figures 10 below:

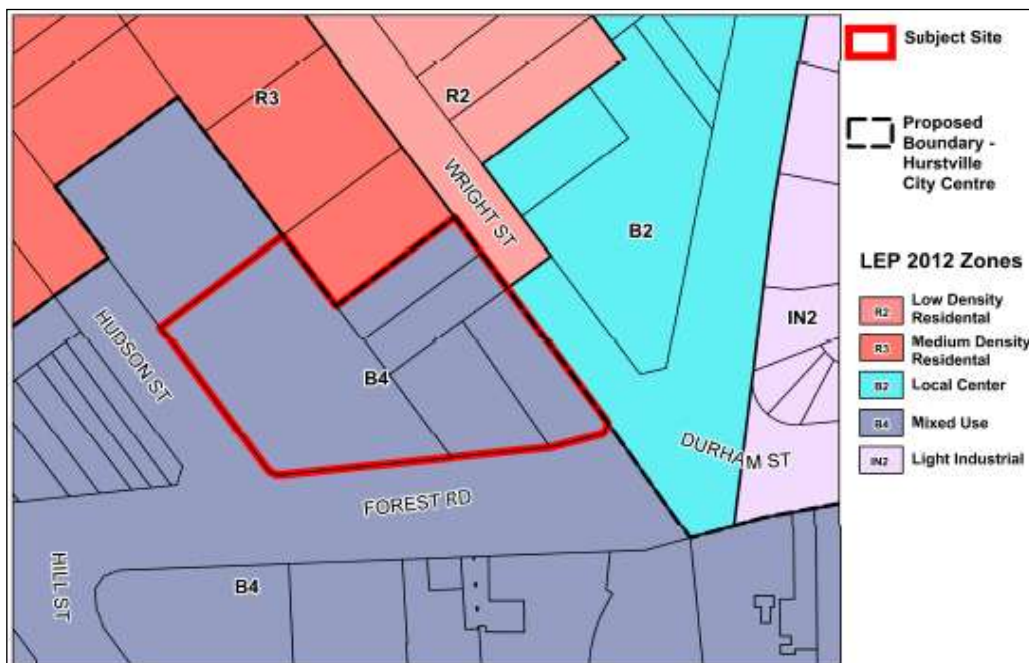


Figure 8: Planning Proposal request Land Zoning Map (Source: Planning Proposal, - PPD Planning Consultants - Revision 6 – 11 March 2016)

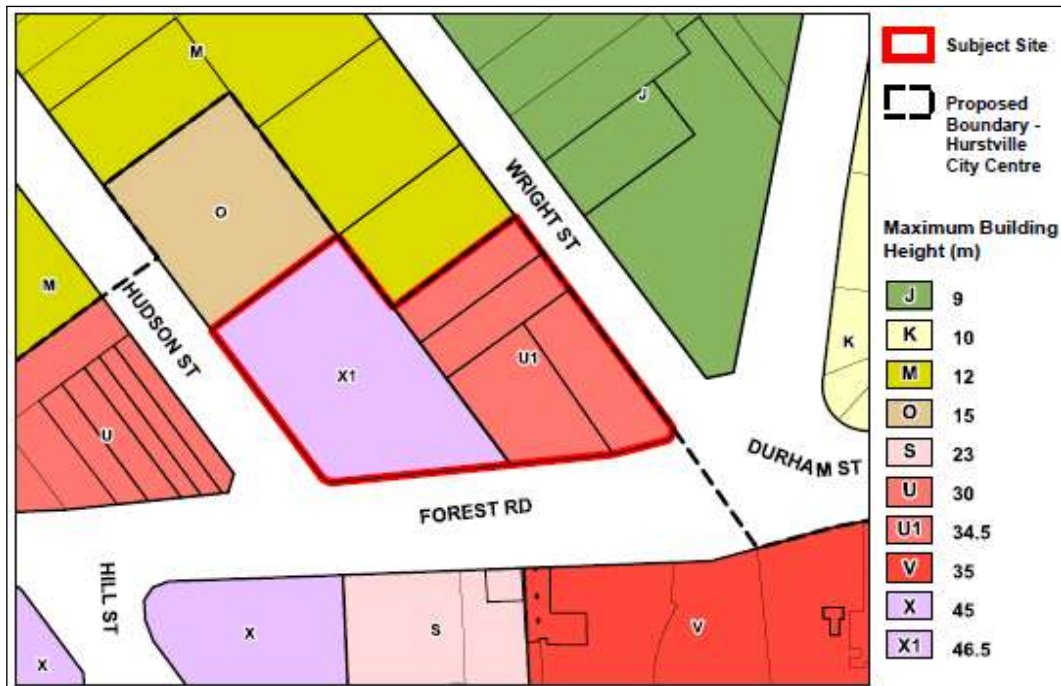


Figure 9: Planning Proposal request Maximum Building Height (Source: Planning Proposal - - PPD Planning Consultants - Revision 6 – 11 March 2016)

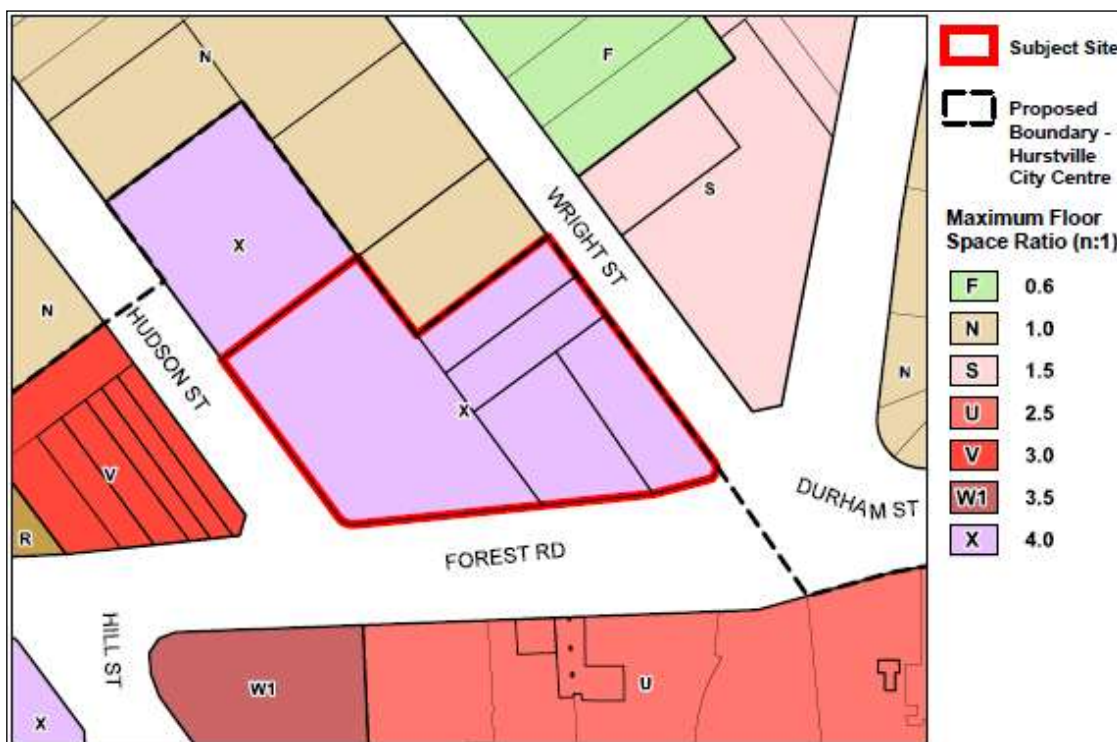


Figure 10: Planning Proposal request Maximum Floor Space Ratio (Source: Planning Proposal - - PPD Planning Consultants - Revision 6 – 11 March 2016)

32. **Revision 6** proposes a mixed-use development (predominantly residential development) with 21,628m² floor space comprising the following:

- A four-storey podium and two (2) tower buildings varying in height from 10 to 14 storeys.

- 1,150m² (5% of floor space) retail floor space provided on the ground level fronting the three streets and split in four parts. The nature of the proposed retail use is not clear.
 - 20,478m² (95% of floor space) accommodating 217 residential apartments on the upper levels within the two towers.
33. Under the current controls (HLEP 2012), the subject site can achieve a total floor space of 14,542m² or an overall FSR of 2.69:1
34. **Revision 6** proposes a FSR of 4:1 generates a floor space of 21,628m².
35. The Planning Proposal was accompanied by an offer to enter into a Voluntary Planning Agreement (VPA). The VPA is being considered under separate cover and a report will be presented to Council. An overview of the VPA is discussed in Paragraph 144 of this report.
36. **Revision 6** is supported by the following documents and included as **Appendix 1** of this report:
- Architectural Report (George El Khouri - Revision 6 - March 2016), including Architectural Plans and Calculations, Solar Studies and 3D Images
 - Economic Impact Assessment (Urbis - March 2016)
 - Hurstville Traffic Modelling Report (GHD - November 2015)
 - Traffic Study Confirmation Study (GHD - March 2016)

4. BACKGROUND TO THE CURRENT REVISION (REVISION 6)

37. The Planning Proposal request (PP2014/0004) and offer to enter into a Voluntary Planning Agreement (VPA) were lodged with the former Hurstville City Council on 4 December 2014.
38. Since the lodgement of the original Planning Proposal, there have been six (6) revisions, as well as revisions to the VPA.
39. An overview of the Planning Proposal requests (Revision 1 – 6) are summarised in Table 3 below:

Planning Proposal request	Planning Proposal details
Revision 1 (4 December 2014)	
Mixed-use development	Apartments: approx. 242
	Retail: 1,890m ²
	Commercial: 3,885m ²
	Height: two towers 27m (8 storeys) and 60m (19 storeys)
	FSR: 6.6:1

Planning Proposal request	Planning Proposal details
Revision 2 (17 July 2015)	
Mixed-use development	Apartments: approx. 264
	Retail: 1,100m ²
	Commercial: Nil
	Height: two towers 42m (13 storeys) and 60m (19 storeys)
	FSR: 4.8:1
Revision 3 (26 August 2015)	
Mixed-use development	Apartments: approx. 260
	Retail: 1,700m ²
	Commercial: 600m ²
	Height: two towers 42m (13 storeys) and 60m (19 storeys)
	FSR: 4.8:1
Revision 4 (12 October 2015)	
Mixed-use development	Design concept same as Revision 3, only the urban design information was restructured
Revision 5 (18 January 2016)	
Mixed-use development	Apartments: approx. 217
	Retail: 1,170m ²
	Commercial: 645m ²
	Height: two towers 34m (10 storeys) and 43m (13storeys)
	FSR: 4:1
Revision 6 (11 March 2016)	
Mixed-use development	Apartments: approx. 217
	Retail: 1,150m ²
	Commercial: Nil
	Height: two towers 34.5m (10 storeys) and 46.5m (14 storeys)
	FSR: 4:1
Revision 6 is subject to the assessment of this Report.	

Table 3: Summary table of Planning Proposal request revisions

5. URBAN DESIGN REVIEW

40. Indicative development concept plans in form of 3D images were submitted with **Revision 6** that included colour coded building forms. These are indicated in Figures 11 – 13 below.

41. The white buildings represent the bulk and scale of buildings proposed by **Revision 6**, the purple buildings indicate other Planning Proposals, currently under assessment by Council and the grey/green buildings represent existing buildings (already constructed).

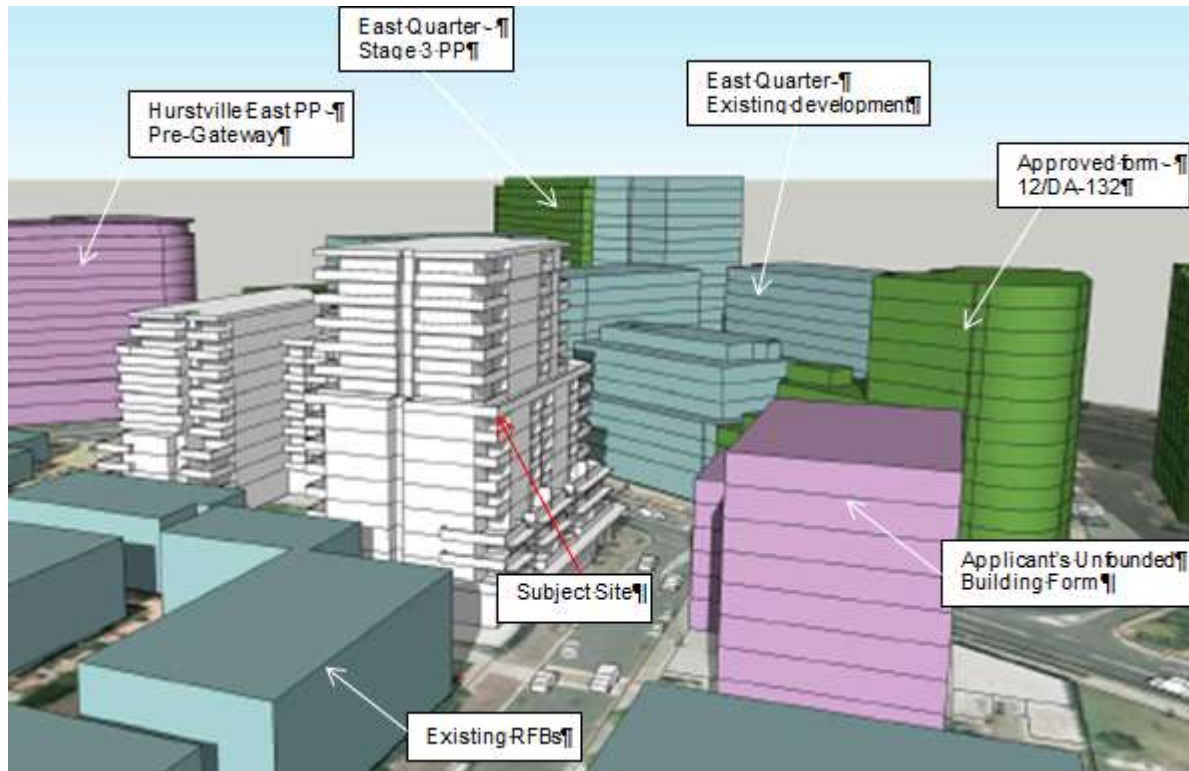


Figure 11: Planning Proposal Birds Eye View – Forest Road (Source: 3D Images - Planning Proposal Revision 6 – 11 March 2016)

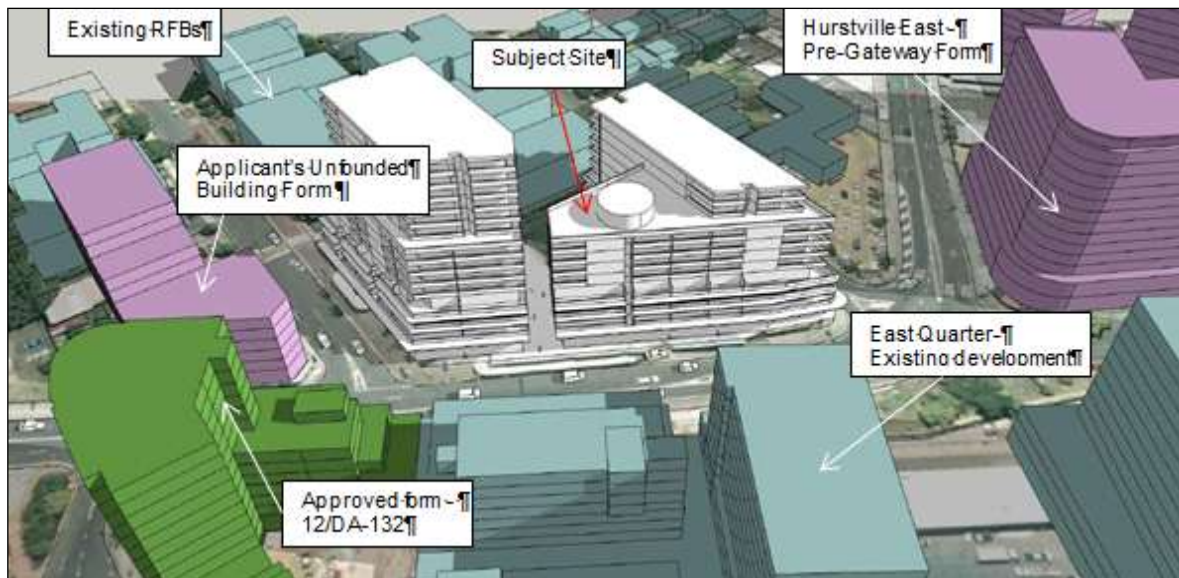


Figure 12: Planning Proposal Birds Eye View – Forest Road (Source: 3D Images - Planning Proposal Revision 6 – 11 March 2016)



Figure 13: 3D Images - Planning Proposal Birds Eye View – Corner Forest Road and Wright Street (Source: Planning Proposal Revision 6 – 11 March 2016)

Note: Purple coloured buildings in the figures do not represent current maximum building height and FSR controls under Hurstville LEP 2012.

42. Table 4 below provides the break-up of land uses within each of the two (2) towers proposed for the subject site and as detailed in the indicative development concept plans:

124 Forest Road Hurstville (Tower 1)	108 and 112 Forest Road and 1 and 3 Wright Street Hurstville (Tower 2)
14 storeys	10 storeys
4 storey podium	4 storey podium
Retail (Part of Ground floor - Level 1)*	Retail (Part of Ground floor - Level 1)*
Residential (Levels 2-14)	Residential (Levels 2-10)
Total residential: 13 storeys	Total residential: 9 storeys
Total retail: 1 storey	Total retail: 1 storey

Table 4: Break up of land uses within proposed towers on the Site (Source: Planning Proposal Revision 6 - 11 March 2016)

*Overall 1,150m² proposed over the ground level for site area of 5,407m²

5.1 Independent Urban Design Peer Review

43. GM Urban Design and Architecture Pty Ltd (GMU) was commissioned by the former Hurstville Council in October 2015 to provide an independent urban design peer review of Revision 4 of the Planning Proposal, which proposed the following amendments to height and FSR:
- Building height – from 23m to 60m and from 9-12m to 42m
 - FSR – 4.8:1

44. DCP No 2 – Hurstville City Centre (Amendment No 6) divides the Hurstville Centre into 6 precincts. The subject site is within the **Eastern Bookend** precinct, the principles of which are summarised as follows:
- This precinct covers the area that is partially outside of the City Centre's area
 - It is an eastern gateway to the centre
 - It is dominated by East Quarter buildings in a prominent position on the axis of Forest Road
 - The desired future character for this precinct is to define and create a sense of entry. This will be achieved through strong built form statements and feature public domain treatment. Residential use will dominate upper levels of development and optimise commanding views; and
 - To define and create a sense of entry – strong built form statements and feature public domain treatment with residential uses on the upper levels enjoying the views.
45. The key Land Use Principles for the **Eastern Bookend** are as follows. GMU in their assessment identified these principles and provided the following comments in response:

Key Land Use Principles	GMU Comment
<p><i>1. Defining entry to the City Centre – characterised by a higher intensity of built form with taller buildings on designated sites to define the entry to the centre. Buildings situated along sites identified with significant frontages are to respond to their gateway context. .</i></p> <p><i>Landmark architecture will define points of interest, especially its prominent position on the axis of Forest Road. All new development is to respond to the public realm, requiring building scale and form to retain a pedestrian scale at street level.</i></p>	<p>The proposal responds to this principle by providing a very strong architectural concept with sharp edges and greater scale than the rest of the sites. However, as it is not a designated site, it should retain a pedestrian scale and transition down from the identified higher intensity sites.</p>
<p><i>2. High Density Residential Land Uses</i></p>	<p>Mixed-use development will be promoted. This Precinct is to provide a transition between the City Centre and surrounding residential areas. Where land adjoins established residential areas, controls require that new development be suitably designed to maintain the amenity of adjoining residential and recreational land uses.</p> <p>Based on the above, the proposed Mixed Use zoning is appropriate for the site.</p>

46. A copy of the report prepared by GMU is included at **Appendix 2**. In summary, GMU concluded that the height and density as requested are not warranted by the site location and it is recommended that the applicant further amend the proposal to reduce the scale and density of the proposed development.

47. GMU in their report also provided two options for the applicant's consideration:

Option 1	<p>Increased density and height in recognition of the corner's role as the western edge of the gateway.</p> <p>The recommended heights and street wall could be as follows:</p> <ul style="list-style-type: none"> • Total height applicable to the site to reflect the surrounding existing and allowable heights to corners which is in the range of 13-10 storeys (42m-33m); • FSR of approximately 3.6:1
Option 2	<p>This option is driven by the principle of responding to the scale opposite the site in Forest Road and is as follows:</p> <ul style="list-style-type: none"> • 10 storeys (33m) to the corner with a podium base and a maximum of 7 storeys (23m) along Forest Road. • Option 2 delivers an FSR of approximately 3.1:1.

5.3 St George Design Review Panel

48. In accordance with the provisions of SEPP No.65 – Design Quality of Residential Apartment Development, the Planning Proposal was referred to the St George Design Review Panel (DRP) on three (3) occasions (12 August 2015, 19 November 2015 and 18 February 2016).
49. Each time the DRP considered different revisions of the Planning Proposal, which are summarised as follows:

Date/Revision	Proposal
12 August 2015 - Revision 2 (17 July 2015)	<ul style="list-style-type: none"> ▪ Rezone part of the subject site from B2 -Local Centre zone and R3 - Medium Density Residential zone to B4 Mixed Use zone ▪ Increase maximum height of the buildings for the subject site to a range between 42m and 60m (currently 9m to 23m); and ▪ Increase the maximum FSR for the whole site to 4.8:1 (currently 1.1 to 4:1). <p>Accompanied by supporting reports (Economic Impact Assessment and Traffic).</p>
19 November 2015 -	<ul style="list-style-type: none"> ▪ Included referral of the GMU Report.

Date/Revision	Proposal
Revision 4 (12 October 2015)	<ul style="list-style-type: none"> No change to the controls or design concept for the Planning Proposal. The Planning Proposal was restructured to include urban design information.
18 February 2016 - Revision 5 (18 January 2016)	<ul style="list-style-type: none"> Rezoning part of the subject site from B2 - Local Centre zone and R3 - Medium Density Residential zone to B4 - Mixed Use zone, Increased the maximum height of the buildings to a range between 34m and 43m (currently 9m to 23m); and Increased the maximum the floor space ratio control for the whole site to 4:1 (currently 1.1 to 4:1). Revision 5 also addressed a number of issues raised previously by the DRP, including: <ul style="list-style-type: none"> reducing the podium height to four storeys, setting the towers back from the podium by 4m, deleting the bridging element between the two towers, providing retail uses on all three street frontages, and reducing the maximum height and the FSR as compared to the earlier revisions <p>A copy of the comments of the DRP Meeting of 18 February 2016 is included in Appendix 3.</p>

50. The DRP, at its meeting on 18 February 2016 made the following conclusions with respect to Revision 5:

Recommendation

The planning proposal cannot be supported in its present form. The issues raised above must be addressed before any increase in height and density could be supported.

Given the very recent gazettal of the present LEP statutory controls a very strong case would have to be presented to justify the significant variations proposed. It is not at issue that demand for additional residential accommodation in particular in Hurstville is likely to continue, but there are a variety of sites which could also be considered if zoning under the LEP is to be amended.

The Panel recommends that a detailed Urban Design study be carried out to justify variations to building height and FSR on the site within the surrounding context. It must also be demonstrated that options other than that presented have been fully explored. The design cannot be supported in its present form and should be amended as outlined above for reconsideration by the Panel and should be consistent with the recommendations of the Independent Urban Design Peer Review.

5.4 Council's Response to GMU and DRP Comments

51. A report was presented to the former Hurstville Council on 9 December 2015. This report provided a status update of the Planning Proposal and provided an overview of the comments provided by GMU and the DRP.
52. As a result of this report, Council resolved the following (Minute No 445):
THAT the Applicant be requested to submit an amended Planning Proposal which responds to the recommendations of the independent Urban Design Peer Review and the comments of the St. George Design Review Panel by 18 January 2016.
THAT a full assessment report on the revised Planning Proposal and Voluntary Planning Agreement offer be presented to Council in early 2016 following the completion of the assessment and referrals on the amended Planning Proposal.
53. Subsequent to Council's resolution on 9 December 2015, the applicant submitted a further revision to the Planning Proposal on 11 March 2016 (**Revision 6**)
54. As outlined above, **Revision 6** proposed the following:
 - Rezoning Nos 108 and 112 Forest Road Hurstville from B2 - Local Centre to B4 – Mixed Use zone
 - Rezoning Nos 1 - 3 Wright Street, Hurstville R3 - Medium Density Residential zone to B4 - Mixed Use zone
 - Retain the existing B4 - Mixed Use zone for 124 Forest Road, Hurstville;
 - Increasing the maximum building height for 108 and 112 Forest Road and 1 and 3 Wright Street Hurstville from 9m and 12m to **34.5m (10 storeys)**
 - Increasing the maximum building height for 124 Forest Road from 23m to **46.5m (14 storeys)**; and
 - Increasing the maximum floor space ratio for 108 and 112 Forest Road and 1 and 3 Wright Street Hurstville from 1:1 and 1.5:1 respectively to 4:1 and retaining the maximum floor space ratio for 124 Forest Road Hurstville of 4:1.
55. The subject site is situated across the road from the East Quarter development where building heights vary from 7 – 19 storeys. There is currently a Planning Proposal being considered for East Quarter that is seeking to increase the maximum height from 60m to 65m (approximately 21 storeys). This is the subject of a separate report to the IHAP.
56. Council is also in receipt of a Planning Proposal for the site bounded by site bounded by Forest Road, Durham Street and Roberts Lane, Hurstville (known as the East Hurstville or Landmark site).
57. Council, at its meeting on 20 April 2016 considered a report on the Planning Proposal for the Landmark site, which requested the following:

- Change of zoning from IN2 Light Industrial and part R2 Low Density Residential to B4 Mixed Use;
- Increase in maximum building height to 65 metres (Site A) and 25 metres (Site B);
- Increase in FSR to 3.5:1 (Site A) and 1.5:1 (Site B) and a bonus FSR incentive (1.5:1) for development including “hotel and motel accommodation” and a range of community and infrastructure uses.

58. Subsequent to the report, Council, at the meeting made changes to the Planning Proposal for the Landmark site. As a result the Planning Proposal is currently on hold for further review. The Planning Proposal has been returned to Council following consideration by the Department of Planning for a Gateway Determination.
59. A review of Council’s records also indicates that there are examples of other approvals in the Hurstville City Centre where a greater height has been permitted behind a lower/medium scale along the Forest Road frontage.
60. Approvals have also been issued by the Sydney East Joint Regional Planning Panel (JRPP) for a development opposite the East Quarter development, on the corner of Hill Street and Forest Road. The approval for this development has a 13 storey corner element with the remainder of the building stepping down to between 6-7 storeys.
61. As outlined above, the GMU report states that the proposal responds to the key Land Use Principles as identified in the DCP No 2. The proposal is seeking to have the greater height of 46.5m on the site fronting Forest Road and Hudson Street and steps down to 34.5m on the sites fronting Wright Street and Forest Road.
62. It is considered that in the context of the surrounding development adjacent to the proposal that the proposed maximum height of 46.5m (14 storeys) on the western portion of the subject site would not be out of context with the surrounding development and further design details around scale and massing can be developed through the development of specific DCP controls for the subject site.
63. The development of these specific provisions will take into account the provisions of the Apartment Design Guide (ADG) as well as identifying detailed controls for setbacks to the adjoining residential development, street activation provisions and vehicular access points, building massing and form as well as provisions to upgrade to public domain. Consideration will also be given to the provision of deep soil landscaped areas and through site connections.

6. TRAFFIC ANALYSIS

64. During the development of planning controls for the Hurstville City Centre, the former Hurstville Council was required by Transport for NSW (TfNSW) and the Roads and Maritime Services (RMS) to undertake a Transport Management and Accessibility Plan (TMAP).
65. Part of the subject site is outside the boundaries of the Hurstville City Centre however, it was included in the area considered by the TMAP.
66. The Hurstville City Centre TMAP (2013) prepared by GHD Pty Ltd is used to inform future planning controls and ensure that a coordinated and efficient approach is taken in the planning of land use and investing in transport infrastructure.

67. The purpose of the TMAP was to recommend the amount of additional Gross Floor Area (GFA) which can be developed in the Hurstville City Centre while giving consideration to potential accessibility and infrastructure implications. The TMAP was adopted by Council in June 2013 and informed the finalisation of planning controls for the Hurstville City Centre which were incorporated into HLEP 2012 on 10 July 2015.
68. The TMAP considered broad land use assumptions based upon the objectives of the respective land use zones for the modelling of Hurstville City Centre Masterplan precincts.
69. As part of the subject Planning Proposal, a Traffic Impact Assessment (GHD Pty Ltd, August 2014) (Revision 1) was submitted and referenced the TMAP. The Assessment demonstrated that the intersection of Hudson Street and Forest Road performed well under the current traffic situation (Level of Service A or very good), but is expected to deteriorate beyond acceptable limits in the future with expected traffic generation from the proposed development.
70. The Traffic Impact Assessment submitted with the Planning Proposal also proposed to signalise the intersection of Hudson Street and Forest Road.
71. An assessment of the proposed signalisation of this intersection was undertaken by Council's Traffic Engineers. They have advised that although it would provide safe pedestrian access across Forest Road for residents and visitors (retail/commercial) of the development, it would not assist in improving the traffic flow within the road network.
72. A further addendum to the traffic report was prepared by the applicant (GHD, July 2015) to examine the potential traffic and parking implications of Revision 2 of the Planning Proposal (264 apartments and 1,100m² retail floor space).
73. This Traffic Addendum notes that in accordance with the RMS rates in the *RTA Guide to Traffic Generating Developments (2002)*, the number of PM peak trips generated by Revision 2 is 175, which is less as compared to the total PM trips on the subject site of 222 in 2021 and 400 in 2036 (based on the assessment undertaken as part of the TMAP).
74. An updated traffic assessment for **Revision 6** has been undertaken.
75. **Revision 6** includes a Traffic Study Confirmation (March 2016) also prepared by GHD Pty Ltd (see **Appendix 3**). The Traffic Study Confirmation concludes that although the land use configuration for **Revision 6** has been modified since the Traffic Addendum (GHD, July 2015) to 217 apartments and 1,150m² retail floor space, the total expected peak hour trip generation is still the same.
76. **Revision 6** proposes a residential floorspace of 20,478m² (95%) and a retail floorspace of 1,150m² (5%). Although the proposal is inconsistent with the TMAP modelling assumptions, it is not considered that the configuration of the proposed development will result in significant impacts to the road traffic network.
77. Therefore, no further intersection analysis is required to assess the traffic impacts of the revised proposal (**Revision 6**).

78. The Traffic Study Confirmation also identified that a 2m dedication is proposed to be provided along the frontage of Forest Road between Hudson Road and Wright Street, to allow Council to implement a potential future widening of this section of Forest Road. The 2m dedication forms part of the VPA which is the subject of a separate report to Council.
79. With respect to the proposed land dedication for potential widening purposes, Council's Engineering Services have advised that what has been proposed is acceptable.

6.1 Transport Management and Accessibility Plan ("TMAP" 2013)

80. As outlined above, during the development of planning controls for the Hurstville City Centre, the former Hurstville Council was required to prepare a TMAP in response to the amount of floor space (1,141,000m²) initially contained within the draft City Centre LEP, the potential accessibility and infrastructure implications and the inconsistency with S.117 *Direction 3.4 - Integrating Land Use and Transport*.
81. The TMAP adopted by Council in June 2013 recommended that there is potential to develop 363,000m² additional GFA resulting in a total of approximately 861,354m² in the City Centre by 2036.
82. A level of inconsistency with Direction 3.4 currently exists because the total GFA allowed for by the planning controls adopted in the City Centre (and included in the HLEP 2012 - Amendment No. 3) is 1,091,000m² (the initial 1,141,00m² GFA figure was reduced to address inconsistencies with the TMAP analysis) which is 229,646m² more than recommended in the TMAP.
83. Since the gazettal of the HLEP 2012 - Amendment No 3 (July 2015), there has been a number of development approvals (Council, JRPP and PAC) well above the maximum building height and FSR in the HLEP 2012 and a number of Planning Proposals with significant increases in both height and FSR proposed.
84. The TMAP provides a number of key recommendations for road and traffic infrastructure in the City Centre. In particular it recommends policies with *"road infrastructure improvements which are targeted at increasing road capacity on rail crossings and network reliability on both regional roads and city centre access routes"* (RN1).
85. *Hurstville City Centre Action Plan (Table 52)* in the TMAP report provides a list of road network and intersection improvements along with other transport and land use works and actions required in the short, medium and long term to support the future planning of the City Centre and to provide an efficient road network.
86. Some of the key road works identified include the widening of The Avenue railway underpass, widening of the Lily Street rail overpass (currently under construction), upgrades to the Treacy Street overpass and the intersection of King Georges Road and Hillcrest Avenue.
87. In October/November 2015, Council commissioned GHD Pty Ltd to undertake traffic modelling analysis using the model developed for the TMAP. This work was to assess the cumulative impact on the local road network of the Planning Proposal request (Revision 3) along with a number of other major approvals and Planning Proposals in the vicinity of the subject site, including:

- Planning Proposal for site bounded by Forest Road, Durham Street and Roberts Lane, Hurstville (PP2015/0001);
- Planning Proposal for East Quarter Stage 3 at 93 Forest Road, Hurstville (PP2014/0002);
- Development Application for 23-35 Treacy Street, Hurstville (Major Project under Part 3A of the EP&A Act); and
- Development Application for 1-5 Treacy Street, Hurstville (DA2014/1083).

88. GHD Pty Ltd reviewed the Planning Proposal (Revision 3). The modelling found that a number of intersections will require additional upgrades above those previously included in the TMAP (2013) as a direct consequence of the cumulative impact of these Planning Proposals and Development Applications.
89. Specifically, the analysis identified that the intersection of Forest Road/ Wright Street/ Durham Street would operate over capacity, in particular for right turns from Forest Road into Durham Street. The recommendation of this is that the intersection of Forest Road/ Wright Street/ Durham Street must be signalised.

7. STRATEGIC PLANNING CONTEXT

7.1 A Plan for Growing Sydney (Metropolitan Strategy)

90. The Planning Proposal request is broadly consistent with the aims of *A Plan for Growing Sydney* (Metropolitan Strategy).
91. A Plan for Growing Sydney sets out 664,000 new homes and 689,000 jobs will be required in the Sydney Metropolitan Region by 2031. **Revision 6** will contribute toward housing and jobs in an area close to existing transport infrastructure and services.
92. As noted in the Metropolitan Strategy “*Locating jobs in around 30 to 40 large centres will provide greater benefits to the overall productivity of Sydney. Strategic centres are areas of intense, mixed economic and social activity that are built around the transport network and feature major public investment in services such as hospitals and education and sports facilities. Together, these centres form a network of transport-connected hubs that help to make Sydney a networked and multi-centred city.*”
93. The proposal will also contribute to reinforcing the status of Hurstville as a Strategic Centre. The proposal achieves the following relevant Goals and Directions of the Metropolitan Strategy:
- Goal 1: A competitive economy with world-class services and transport*
- Direction 1.7: Grow strategic centres – providing more jobs closer to home
94. It is recommended that a minimum non-residential floor space of 0.5:1 be included to ensure that potential employment floor space is retained on the subject site and within the Hurstville Centre.

95. The incorporation of the minimum non-residential floor space requirement of 0.5:1, will contribute towards achieving this Direction through providing employment floor space within the Hurstville Strategic Centre, on a site which benefits from its proximity to the commercial, retail and services within the Hurstville City Centre. This will also assist in delivering more investment and business activity and increased productivity.
96. It is recommended that Clause 4.4A of HLEP 2012 be amended to include a specific provision for the subject site requiring a minimum non-residential floor space ratio of 0.5:1. This will encourage the development of retail/commercial floorspace at ground floor level and ensure the activation of the street frontages.

Goal 2: A city of housing choice, with homes that meet our needs and lifestyles

- Direction 2.1: Accelerate housing supply across Sydney
 - Direction 2.2: Accelerate urban renewal across Sydney – providing homes closer to jobs
 - Direction 2.3: Improve housing choice to suit different needs and lifestyles
97. **Revision 6** will provide approximately 217 new dwellings in the form of a mix of apartments. The site is suitable for this increase in dwellings as it is located within the Hurstville Strategic Centre, close to jobs and public transport services (Illawarra Railway line and bus interchange) with frequent services.
 98. Housing choice to suit the varying needs of residents will be provided through the development of the anticipated 217 new dwellings on the site, with a range of sizes provided to satisfy the *Principle 8: Housing diversity and social interaction* of SEPP 65.

Goal 3: Sydney's great places to live

- Direction 3.3: Create healthy built environments
99. **Revision 6** assists in encouraging healthy communities by creating mixed-use development that provides a convenient focus for daily activities and benefits from its proximity to the retail and services within the Hurstville City Centre. It is also in close proximity to Kemp Field, which provides a recreation area for the local community.

Sydney South Subregion

100. In relation to the priorities of the South Subregion, **Revision 6** provides housing supply and choice in a suitable location for housing intensification and urban renewal within the established Hurstville City Centre serviced by a key public transport corridor (Illawarra Railway Line).
101. **Revision 6** addresses the Hurstville Strategic Centre priorities of providing capacity for additional mixed use development in Hurstville including offices, retail, services and housing. It is also consistent with the "Planning Principles" for growth identified in the Metropolitan Strategy, including:
 - Principle 1: Increasing housing choice around all centres through urban renewal in established areas

102. **Revision 6** will increase housing opportunities within Hurstville City Centre (with an estimated 217 new residential apartments) within walking distance from Hurstville Railway Station and bus interchange. The subject site is also in close proximity and has direct access to shops and services, is close to employment opportunities, which will reduce car dependency.
103. Increasing the variety of housing available will provide housing choice to suit different lifestyles, household sizes and affordability.
 - Principle 2: Stronger economic development in strategic centres and transport gateways
104. A minimum non-residential FSR of 0.5:1 is recommended, equating to approximately 2,704m² of employment floor space, as compared with the 4,707m² of existing commercial/retail floorspace on the site.
105. It is anticipated that this floor space will provide for jobs and addresses Principle 2 through locating jobs within the strategic centre of Hurstville, an important hub for business and employment and one of Sydney's 'transport gateways'.

7.2 Draft South Subregional Strategy (2007)

106. The draft South Subregional Strategy includes key directions and strategies for economy and employment, centres and corridors, housing and transport and sets dwelling and employment targets for the South Subregion to 2031.
107. The Strategy identifies the Hurstville City Centre as a 'Major Centre'. The dwelling target for the Hurstville LGA to 2031 is 4,100 additional new dwellings and the employment target is 3,000 additional new jobs.
108. The draft South Subregional Strategy (2007) includes key directions and strategies for economy and employment, centres and corridors and housing which are relevant to this Planning Proposal.
109. In relation to economy and employment, the key relevant directions include:
 - Retain strategic employment lands including those required for utilities and local services.
 - Strengthen the commercial centre of Hurstville.
110. In relation to centres and corridors, the key relevant directions include:
 - Increase densities in centres whilst improving liveability
 - Ensure sufficient commercial office sites in strategic centres
111. In relation to housing, the key relevant directions include:
 - Focus residential development around centres, town centres, villages and neighbourhood centres
112. It is noted that a new District Plan is under preparation for the South Subregion by the Greater Sydney Commission.

7.3 Hurstville City Centre Masterplan 2004

113. The former Hurstville Council in collaboration with the NSW Government Architect developed a Concept Master Plan for Hurstville City Centre, which was adopted in 2004.
114. The Concept Master Plan includes seven key principles to improve the public infrastructure and amenity in Hurstville City Centre. The Masterplan divides the City Centre into six precincts, each having unique characteristics.
115. Part of the subject site is situated within the Eastern Bookend precinct. The Masterplan notes that this precinct has the potential to form the eastern gateway to the City. It is considered that the Planning Proposal is consistent with the principles in the Masterplan.

7.4 Hurstville Development Control Plan No.1 – LGA Wide

116. Hurstville Development Control Plan No. 1 – LGA Wide (DCP No.1) applies to all land in the Peakhurst, Mortdale and Hurstville Wards of the Georges River LGA outside the Hurstville City Centre, and includes No 108 and 112 Forest Road, Hurstville (zoned B2 Local Centre) and Nos 1 and 3 Wright Street, Hurstville (zoned R3 Medium Density Residential).
117. Should the subject site be rezoned to B4 Mixed Use, it is recommended that the Hurstville City Centre boundary be amended to include No 108 and 112 Forest Road, Hurstville and Nos 1 and 3 Wright Street, Hurstville.
118. In this regard, the provisions of HDCP No 1 will no longer apply.

7.5 Hurstville Development Control Plan No. 2 – Hurstville City Centre

119. As outlined above, parts of the subject site zoned B2- Local Centre zone (Nos 108 and 112 Forest Road Hurstville) and R3 - Medium Density Residential (Nos 1 and 3 Wright Street Hurstville) are situated outside the boundaries of the Hurstville City Centre which means the provisions of HDCP No. 2 – Hurstville City Centre do not currently apply.
120. If the subject site is rezoned to B4 Mixed Use, it will be necessary to amend HDCP No. 2 by inserting a new Hurstville City Centre Land Application Map in Appendix 1 of the DCP to include the subject site within the boundaries of the Hurstville City Centre.
121. HDCP No. 2 applies to No 124 Forest Road Hurstville and this site is located in the Eastern Bookend precinct of the Hurstville City Centre.
122. As outlined above, it is recommended that the DCP also be amended to include specific development controls related to the subject site.
123. Such provisions would include, but not be limited to identifying detailed controls for setbacks to the adjoining residential development, street activation provisions and vehicular access points, building massing and form as well as provisions to upgrade to public domain, the provision of deep soil landscaped areas and through site connections and linkages.

7.6 Draft Hurstville Employment Lands Study

124. In 2014, the former Hurstville Council commissioned independent consultants Jones Lang LaSalle (JLL) and SJB Planning to prepare a draft Employment Lands Study to review all land zoned IN2 - Light Industrial and commercial centres (land zoned B1- Neighbourhood Centre and B2- Local Centre) under Hurstville LEP 2012.
125. The objectives of the draft Employment Lands Study include:
- A detailed land use survey and analysis of the strengths, weaknesses and opportunities of the employment lands;
 - A market assessment;
 - A review of the NSW State Government's employment targets; and
 - A review of the effectiveness of the existing planning controls.
126. With the proclamation of Georges River Council in May 2016, the draft study is currently under review to expand consideration of the study area to include the former Kogarah Council LGA.

7.7 Hurstville Section 94 Development Contributions Plan 2012

127. The Hurstville Section 94 Development Contributions Plan 2012 applies to all land in the Hurstville LGA. As outlined above, should the subject site be rezoned to B4 - Mixed Use zone, it is recommended that the Section 94 Plan be amended to include the whole of the subject site within the Hurstville City Centre.
128. The Section 94 Plan includes specific provisions which levy development in the Hurstville City Centre for non-residential floor space and deficient car parking spaces. It is recommended that the Hurstville Section 94 Development Contributions Plan 2012 be amended by inserting a new Hurstville City Centre map which incorporates the subject site within the boundaries of the Hurstville City Centre. This will then allow Council to levy for non-residential floor space and any deficient car parking spaces as part of any development application.

7.8 Economic Impact Assessment

129. An Economic Impact Assessment (EIA) was prepared by Urbis (August 2014) for the Planning Proposal (Revision 1) which included an estimate of current employment floor space of 4,707m² and 175 jobs on the subject site. The Planning Proposal (Revision 1) also included a proposed estimate of 5,695m² of retail/commercial employment GFA and a total of 204 jobs.
130. Independent employment generation rates provided by SGS Economics and Planning have been utilised to assess the employment generation in the Planning Proposal.
131. As outlined in Table 5 below, **Revision 6** results in a reduction of employment floor space as compared to current employment on the subject site, as at December 2014.

Table 5: Economic Impact Assessment – Employment Floor Space Assessment

	Planning Proposal Estimates				Council Assessment
	Current Employment Floorspace (estimated December 2014)	Proposed Employment Floorspace (estimated December 2014 - Revision 1)	Current Employment Floorspace (estimated March 2016)	Proposed Employment Floorspace (estimated March 2016 - Revision 6)	Proposed Employment Floorspace (based on SGS rates)
Commercial Floor Space	3063sqm ⁽¹⁾	2490sqm ⁽²⁾	1500sqm ⁽³⁾	Not provided	Not provided
Retail Floor Space		1890sqm ⁽⁴⁾	1600sqm ⁽⁵⁾	1150 (1035sqm GLA) ⁽⁶⁾	1150 (1035sqm GLA) ⁽⁷⁾
Industrial Floor Space	1644sqm ⁽⁸⁾	N/A	Floor space not included	Not provided	Not provided
Gym/ Fitness	N/A	1315sqm ⁽⁹⁾	N/A	N/A	N/A
Total employment Floorspace	4,707sqm	5,695sqm	3,100sqm	1,150sqm	1,150sqm
Estimated total jobs	175 jobs	204 jobs	110 jobs	113 jobs	46 to 77 jobs

Notes:

- (1) Commercial estimated at one employee / 20sqm
(2) Commercial estimated at one employee / 67sqm
(3) Commercial estimated at one employee / 22sqm
(4) Retail estimated at one employee / 40sqm
(5) Retail estimated at one employee / 69sqm
(6) Retail estimated at one employee / 16.5sqm
(7) Retail estimated at SGS rate of one employee / 15-25sqm
(8) Industrial estimated at one employee/ 90sqm
(9) Gym/fitness at one employee / 27sqm

132. A revised Economic Impact Assessment (EIA) was prepared by Urbis (March 2016) to accompany **Revision 6**.
133. The EIA (March 2016) included a total current employment of 3100m² of retail/commercial GFA (the EIA appears to have excluded Nos. 108 and 112 Forest Road from the total figure) estimating 110 jobs currently on the subject site. The EIA (March 2016) is included in **Appendix 4**.
134. The EIA (March 2016) also estimates the proposed number of employees in the development resulting from **Revision 6** at 113 retail employees on the 1150m² proposed retail (estimate based on approximately 16.5 jobs/m²).

135. In relation to the removal of the commercial space component in an earlier version of the Planning Proposal (Revision 5), the EIA (March 2016) notes that *“demand for traditional office space is subdued, with surplus capacity in the market able to accommodate future employment growth”*
136. The EIA (March 2016) also noted that the revised proposal will not have an adverse economic impact on the Hurstville Centre or its capacity to achieve its 2031 employment targets. The proposed development will increase the housing supply in a market where population growth is expected to exceed its existing development and affordability is an issue.
137. It is noted from Table 5 above that the existing commercial/retail GFA on the subject site is 4,707m² (an approximate FSR of 0.9:1), while **Revision 6** provides for 1150m² (an approximate FSR 0.2:1). This represents a reduction in the future employment floor space on the subject site.
138. The employment (job) numbers proposed in **Revision 6** have been reviewed with independent employment rate/m² estimates provided by SGS Economics and Planning Pty Ltd (SGS) as follows:
 - Retail (speciality food) – ranging between 15-25m²/job
 - Retail (including personal goods/services/other retail/ clothing and soft goods) - Ranging between 25-35 m²/job
 - Commercial - Ranging between 20-30 m²/job
 - Industrial - 90 m²/job
139. Based on the proposed retail floor space in **Revision 6** and employment generation rates provided by SGS, the proposed employment (job) numbers on the subject site varies between 46 - 77 employees. This is a reduction of between 98 – 129 jobs, which currently exist on the subject site.
140. *A Plan for Growing Sydney* identifies that a commercial core in Hurstville is to be retained, as required, for long-term employment growth and that capacity be provided for additional mixed-use development in Hurstville including offices, retail, services and housing.
141. Although **Revision 6** proposes a loss of jobs, it is considered that due to the location of the site within the City Centre, that this is not critical, however it is considered that any future development must include some commercial/retail floor space to ensure that services can be provided to both current and future residents, on and around the site and also to ensure ground floor activation of all of the street frontages.
142. To ensure that this does occur, it is proposed to amend Clause 4.4A of HLEP 2012 to include a minimum non-residential FSR of 0.5:1. This would aim to provide for up to 2,704m² of employment floor space and depending on the employment generating use, between 77 - 108 jobs.

6. OFFER TO ENTER INTO A VOLUNTARY PLANNING AGREEMENT (VPA)

143. As part of **Revision 6**, the applicant on 11 March 2016 has submitted an amended offer to enter into a Planning Agreement with Council in accordance with section 93F of the *Environmental Planning and Assessment Act 1979*.

144. A VPA is a mechanism which allows for negotiation and agreement between planning authorities and developers to extract public benefits from the planning process and ensure that development produces targeted public benefits over and above measures to address the impact of development on the public domain.
145. The VPA offer provides for the following public benefits:
- A monetary contribution, which is consistent with other monetary contributions negotiated within the Hurstville City Centre Precinct; and
 - Land dedication along the Forest Road frontage to provide for road widening and other road works
146. The Heads of Agreement are currently being finalised and the offer to enter into a Planning Agreement will be considered as future report to Council.

7. THE PLANNING PROPOSAL

147. **Revision 6** has been assessed under the relevant sections of the *Environmental Planning and Assessment Act, 1979* and *Regulation, 2000* and the following advisory documents prepared by the Department of Planning and Environment:
- “A guide to preparing planning proposals” (August 2016) and
 - “A guide to preparing local environmental plans” (August 2016)
148. The following summarises the intended outcomes of the Planning Proposal to amend HLEP 2012 in relation to the subject site, as follows:
- Amend the Land Zoning Map (LZM) to rezone Nos 108 and 112 Forest Road Hurstville from B2 - Local Centre to B4 – Mixed Use zone (Figure 14)
 - Amend the Land Zoning Map (LZM) to rezone Nos 1 - 3 Wright Street, Hurstville from R3 - Medium Density Residential zone to B4 - Mixed Use zone (Figure 14)

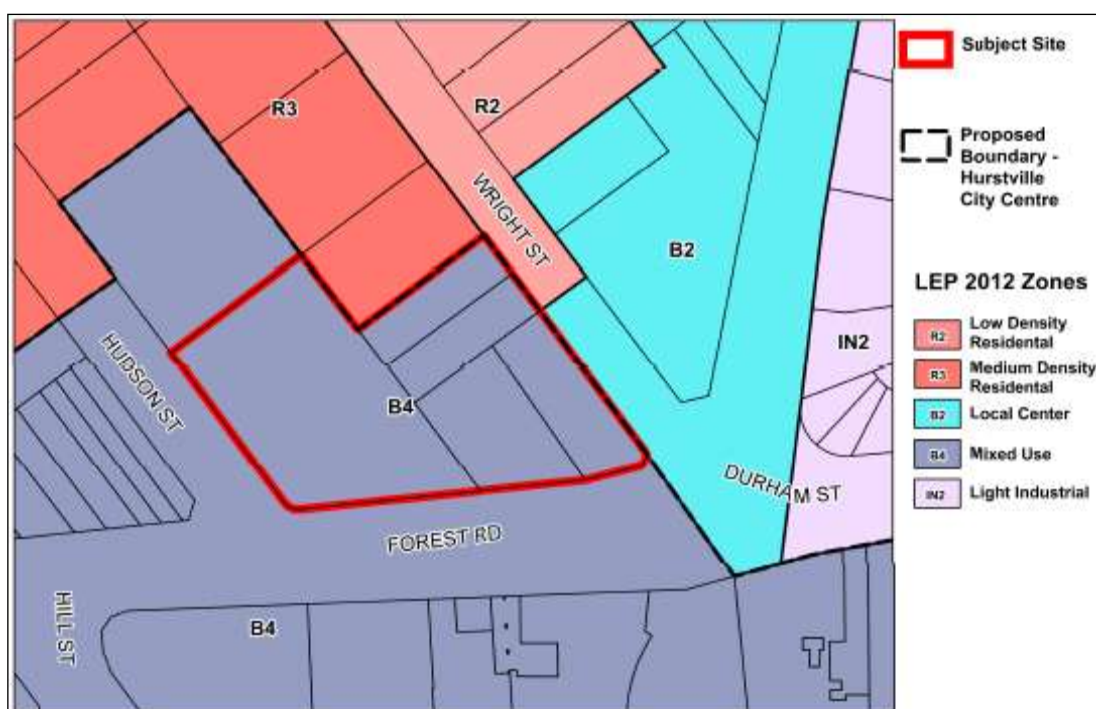


Figure 14 – Amendment to LZM - B4 Mixed Use zone – HLEP 2012

- Amend the height of building map (HOB) to increase the height of buildings for Nos 108 and 112 Forest Road and 1 and 3 Wright Street, Hurstville to 34m (Figure 15)
- Amend the height of buildings map (HOB) to increase the height of buildings for No 124 Forest Road, Hurstville to 46.5m (Figure 15); and

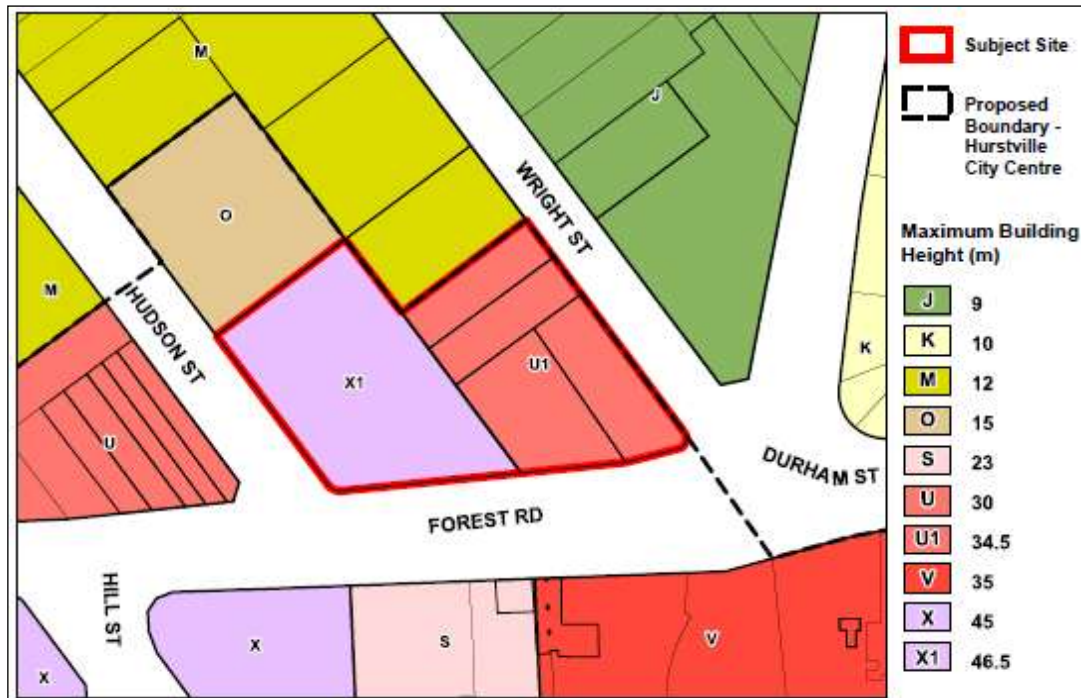


Figure 15 – Amendment to HOB Map – HLEP 2012

- Amend the floor space ratio map (FSR) to increase the maximum floor space ratio for Nos 108 and 112 Forest Road and Nos 1 and 3 Wright Street, Hurstville to 4:1 (Figure 16).

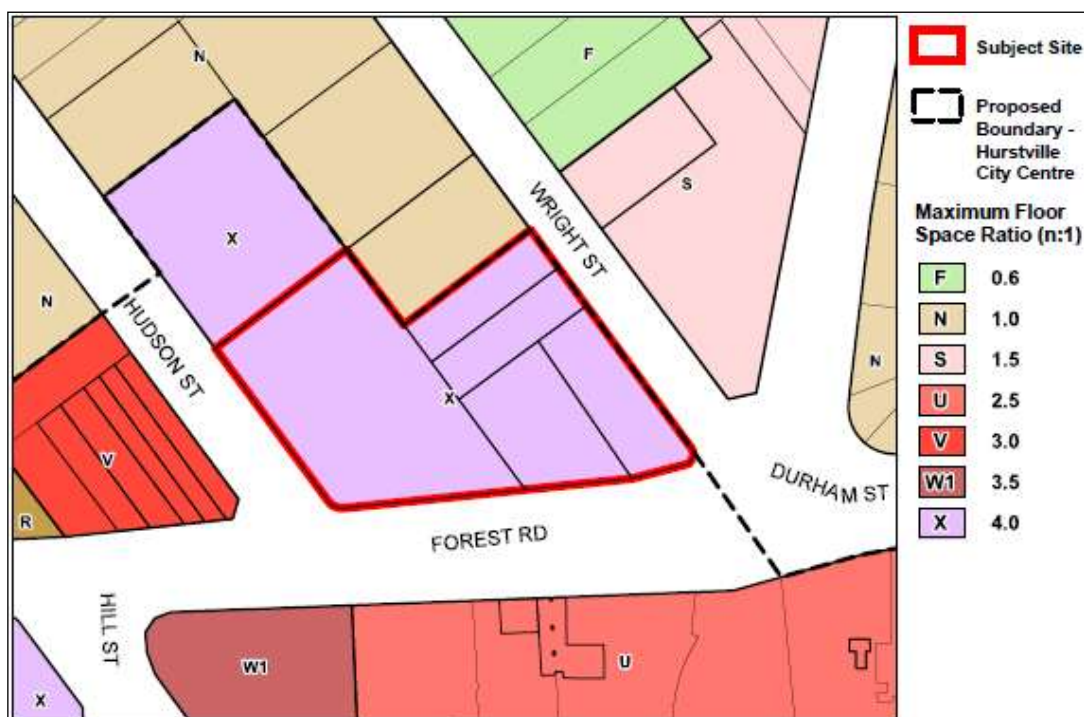


Figure 16 – Amendment to FSR Map – HLEP 2012

- Amend the Lot Size Map (Sheet LSZ_008) to remove Nos. 1 and 3 Wright Street Hurstville from its application (Figure 17).



Figure 17 – Amendment to LSZ Map – HELP 2012

149. It is also proposed, as discussed above to amend Clause 4.4A to require a minimum non-residential FSR of 0.5:1 for the subject site

8. COMMUNITY CONSULTATION

150. Should **Revision 6** be supported it will be forwarded NSW Department of Planning and Environment for a Gateway Determination.
151. If a Gateway Determination is issued, and subject to its conditions, it is anticipated that the Planning Proposal will be exhibited for a period of twenty eight (28) days in accordance with the provisions of the Environmental Planning and Assessment Act, 1979 and Regulation, 2000 and any requirements of the Gateway Determination.
152. Exhibition material, including explanatory information, land to which the Planning Proposal applies, description of the objectives and intended outcomes, copy of the Planning Proposal and relevant maps will be available for viewing during the exhibition period on Council's website and hard copies available at Council service centres.
153. Notification of the public exhibition is proposed as follows:
- Newspaper advertisement in The St George and Sutherland Shire Leader;
 - Exhibition notice on Council's website;
 - Notices in Council service centres (Kogarah and Hurstville);
 - Letters to State and Commonwealth Government agencies, as identified in the Gateway Determination;
 - Letters to all landowners in the subject site; and
 - Letters to adjoining landowners (in accordance with Council's Notification Procedures).

- Drop in Sessions, manned by Strategic Planning staff. This will allow the community the opportunity to discuss the Planning Proposal with staff and make comments/feedback.

154. The anticipated project timeline for completion of the Planning Proposal is shown in Table 6 below:

Table 6: Timeframe for Community Engagement

Task	Anticipated Timeframe
Submission of revised Planning Proposal (subject of this assessment)	11 March 2016
Reporting to IHAP on Planning Proposal	24 November 2016
Report to Council	5 December 2016
Anticipated commencement date (date of Gateway determination)	February 2017
Timeframe for government agency consultation (pre and post exhibition as required by Gateway determination)	March 2017
Commencement and completion dates for public exhibition period (twenty eight (28) days)	Completed early May 2017
Dates for public hearing (if required)	N/A
Timeframe for consideration of submissions	June 2017
Timeframe for the consideration by Council of the planning proposal post-exhibition	August 2017
Date of submission to the Department to finalise the LEP	August 2017

CONCLUSION

155. Should IHAP resolve to support the Planning Proposal, it is recommended that the Planning Proposal be considered at the next available Council meeting for endorsement to submit to the NSW Department of Planning.
156. Once endorsed by Council (the Administrator), the Planning Proposal document would be forwarded to the Department of Planning and Environment for a Gateway determination in accordance with Section 56 of the Environmental Planning and Assessment Act 1979.
157. With respect to the public exhibition of the Planning Proposal, if the Gateway is issued by the Department, it will specify the extent of consultation that Council must undertake, along with any additional conditions that may be imposed by the Gateway Determination.

Operational Plan Budget

158. Within budget allocation.

ATTACHMENTS

- Attachment [View](#)1 Planning Proposal Request - Revision 6
- Attachment [View](#)2 Urban Design Peer Review & SEPP 65 Assessment Report - GMU
- Attachment [View](#)3 Traffic Study Confirmation (March 2016)
- Attachment [View](#)4 Economic Impact Assessment (March 2016)



Planning Proposal

108, 112 & 124 Forest Road and 1-3 Wright Street, Hurstville

March 2016 (Revision D)

ppd pty ltd

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■ Planning Proposal – 108, 112 & 124 Forest Road & 1-3 Wright Street, Hurstville

1 Introduction

Hurstville City Council is requested to exercise its functions under Division 4 of Part 3 of the EPA Act and prepare a planning proposal to amend *Hurstville Local Environmental Plan (HLEP) 2012* in relation to lands identified as 108, 112 and 124 Forest Road and 1-3 Wright Street, Hurstville (the 'subject site').

PP+D Pty Ltd has prepared this request on behalf of Shanghai Lihua Australia Pty Ltd (SLA Developments).

This request is structured in two parts. The first part, Sections 2-7, contains information about the site and its context and provides support and presents a case for making changes to the local environmental plan.

The second part, Section 8, contains the draft Planning Proposal prepared in accordance with the NSW Planning and Environment guidelines *A Guide to Preparing Local Environmental Plans* and *A Guide to Preparing Planning Proposals* dated October 2012.

2 Background

Following the initial purchase of the site at 124 Forest Road St in June 2013, Shanghai Lihua Australia (SLA) Pty Ltd purchased adjoining sites at 108 and 112 Forest Road and 1 Wright Street.

SLA has had discussions with the NSW Trustee and Guardian regarding the purchase 3 Wright Street. The Public Trustee is currently acting as Executor in the deceased estate and is expected to finalise the estate, which includes the property at 3 Wright Street, in the coming months.

The 'subject site' for this proposal has a consolidated area of 5,407 sm and comprises five (5) individual adjoining sites at 108, 112 and 124 Forest Road and 1-3 Wright Street.

SLA Developments vision for this site is to:

- Create a landmark high-quality mixed-use residential development that provides a sculptured gateway to the 'Bookend Precinct' of Hurstville Town Centre.
- Promote an active street culture of retail activity that is supported by high-density residential living.
- Provide improved pedestrian accessibility and amenity.

The Planning Proposal for this site has been revised and considered by Hurstville Council on a number of occasions.

The most recent proposal considered by Council (submitted on 26 August 2015) requested changes to Hurstville Local Environmental Plan (LEP) 2012 by:

1. amending the height of the buildings for the site to a range between 42m and 60m (currently 9m to 23m),
2. amending the floor space ratio control to 4.8:1 (currently 1.1 to 4:1) and
3. rezone parts of the Site from B2 Local Centre and R3 Medium Density Residential to B4 Mixed Use.

This Planning Proposal offers a mixed-use development varying in height from 13 to 19 storeys with approximately 260 residential units, 1,700m² of retail floor space on ground and basement levels and 600m² of commercial floor space on first and second floor levels.

Following consideration of this proposal Council engaged an independent urban design consultant to undertake an Urban Design Peer Review of the revised Planning Proposal. The Urban Design Peer Review does not support the Planning Proposal in its current form based upon the overall height and bulk, setback and separation distances between the properties to the north, higher street wall heights and the proposed density. The Urban Design Peer Review recommends that the applicant further amend the proposal to address the design issues.

The Urban Design Peer Review was referred to the St George Design Review Panel (DRP). The DRP has recommended that the Planning Proposal be amended in accordance with the recommendations of the

■ Planning Proposal – 108, 112 & 124 Forest Road & 1-3 Wright Street, Hurstville

Urban Design Peer Review and be presented for reconsideration by the Panel.

The revised Planning Proposal has also been assessed and modelled in Council's Traffic Model. The Traffic Modelling Report has recommended a number of mitigation measures including the signalisation of the Forest Road and Hudson Street intersection.

A revised Planning Proposal that included three (3) built form options and was presented to the DRP for consideration. The DRP provided a report, dated 18 February 2016, summarising their findings and recommendations having due regard to the previous recommendations of the Urban Design Peer Review.

This amended proposal has been prepared having due regard to the recommendations of the DRP and the key outcomes are detailed below.

Key Outcomes	Planning Proposal	Revised Planning Proposal
Height	60m (19-storey) 42m (13-storey)	46.5m (14-storey) 34.5m (10-storey)
FSR	4.8:1	4.0:1
Retail Space	1,700m ²	1,150m ²
Commercial Space	600m ²	
Residential Units	260	217

PLANNING PROPOSAL - 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Local Context

Within Hurstville, the subject site sits on the east end of the CBD area—on the north side of Forest Road between Wright Street and Hudson Street (refer Figures 2 & 3).

Figure 2. Local Context (star indicates site location)



The Hurstville CBD area is an elongated east-west shape with the Hurstville Railway Station and retail hub at its centre. Most of the CBD area is located within a 5-minute walk (with the edges of the city centre within a 10-minute walk) from the railway station and major bus route stops.

Forest Road, the area's traditional main street, runs parallel to the railway line. The street is lined with 2-3 storey buildings with shops on street level. Westfield Hurstville lies in a valley to the north of the railway station and has a number of pedestrian paths in the form of arcades and laneways leading through the central retail area to the shopping centre.

The centre's urban form is characterised by its hill top location, the clear street grid and the traditional main street with retail and other commercial uses.

All the major public open spaces in Hurstville are located outside the CBD area. Hurstville Oval, Penshurst Park, Woodville Park, Croot Park and Kempt Field lie outside the boundary of the CBD and are within a 10-minute walking distance. Within the city centre there are very few public squares or parks.

Many local schools are located close to the Hurstville city centre. They are Penshurst Girls High, Danebank School, St Declans Catholic Primary School,

PLANNING PROPOSAL - 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Hurstville Boys High, Hurstville Public School (350m from subject site), Bethany College and Hurstville Technical High (650m from subject site).

Figure 3. Local Context



Site Details

The subject site is located on Forest Road, Hurstville between Hudson Street and Wight Street. The site comprises five (5) distinct properties as outlined in red in Figure 4 and detailed in Table 1.

The subject site has a total area of 5,407 sm with a 90.6m frontage to Forest Road, 70.9m frontage to Wight Street and 49.3m frontage to Hudson Street.

The Urban Design Report that forms part of this proposal provides further detailed analysis of the site.

PLANNING PROPOSAL - 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Figure 4. Aerial View of Subject Site



Table 1. Site Details

Address	Lot/DP	Current Use	Area (sm)
108 Forest Road	Lot 1 DP78322	Auspeed Pty Ltd (car mechanical repairs and tyre service).	741
112 Forest Road	Lot 1 DP75572	Hawleys Engineering (engineering & tool making)	903
124 Forest Road	Lot 4 DP421391	Ground Floor Dick Smith, Gym, Bing Lee Electricals Ideal Store First Floor English Live, Superhelp Australia Pty Ltd Ace Coaching Pty Ltd, First Base Training Mortgage Choice, Information Exchange Pty Ltd, York Coaching Hunter, Neuronworks Consulting Pty Ltd, Skyland Property Group AA Technology Services Pty Ltd and Australian Building Development Group	2,771
1 Wright Street	Lot 55 DP78322	Dwelling house	496
3 Wright Street	Lot 54 DP78322	Dwelling house	496

PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Key Opportunities

The location and amalgamation of the sites provide an exceptional opportunity for future development. The key opportunities are summarised as follows:

Transport Orientated Development

The site is 650m from the major Hurstville railway station and 530m from the Allawah railway station—an 8 and 6-minute walk, respectively. This location provides the opportunity to utilise Transport Orientated Development (TOD) principles to promote high quality mixed-use development.

Vibrant Streetscape and Increased Pedestrian Activity

Since the site is strategically located within walking distance to shops, schools, parks and public transport, dense redevelopment will boost pedestrian activity in the area. Redevelopment also provides the opportunity to create a more vibrant streetscape by activating Forest Road with ground floor retail space.

Pedestrian flow across Forest Road can be enhanced. East Quarter has set up a potential link from the village square to Kempt Field to Allawah Station, per the intentions of council in its Masterplan.

Public Domain

Redevelopment provides an opportunity to improve the public domain through provision of public plaza, pedestrian linkages, attractive landscaping, public art and footpath upgrades.

Gateway to Hurstville City Centre

Redevelopment provides an opportunity to strengthen the site's function as the eastern gateway to the City Centre.

Development Feasibility Through Increased Height

There is an opportunity to increase the height of buildings on the site without unduly impacting upon the views and solar access of existing and future residential dwellings or existing and planned areas of open space.

Key Challenges

The key challenges for any future development on the subject site are summarised as follows:

Local Traffic Network

A key principle of the Hurstville City Centre Concept Masterplan 2004 is "a simplified traffic system including rationalisation of traffic flows on key streets and enhanced integration of alternate traffic modes".

Pedestrian Activity

Pedestrian activity in the area is constrained by limited safe pedestrian crossings on Forest Road.

■ PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Maintaining Views and Solar Access

It is recognised that the location and height of revised building envelopes are constrained by a desire to maintain, as far as practicable, adequate solar access to existing and future residential developments, and a desire to maintain, as far as practicable, views that would not be lost if the development sites were developed in accordance with existing controls.

Adjoining medium density residential development

Existing residential development to the north of the subject site is generally characterised by 3-4 storey residential flat buildings.

Heritage

There are a number of locally significant heritage items identified within the generally locality of the subject site. These items are along Forest Road and The Avenue.

4 Statutory Context

The *Hurstville Local Environmental Plan (HLEP) 2012* applies to the subject site. More recently the draft *Hurstville City Centre LEP* was made as an amendment to HLEP 2012 and is known as HLEP 2012 (Amendment No 3).

Table 2 below provides a summary of the current zoning and key development control standards for the lands that make up the subject site.

Table 2. Zoning and development control standards

Address	Zone	Height (m)	FSR
108 Forest Road	B2 Local Centre	9	1.5:1
112 Forest Road	B2 Local Centre	9	1.5:1
124 Forest Road	B4 Mixed Use	23	4:1
1 Wright Street	R3 Medium Density Residential	12	1:1
3 Wright Street	R3 Medium Density Residential	12	1:1

Under the current controls the site can achieve a floor space of 14,542m² or an overall FSR of 2.7:1.

The objectives of the B2 zone are:

1. To provide a range of retail, business, entertainment and community uses that serve the needs of people who live in, work in and visit the local area.
2. To encourage employment opportunities in accessible locations.
3. To maximise public transport patronage and encourage walking and cycling.
4. To maintain a commercial and retail focus for larger scale commercial precincts.

The B2 zone allows for a range of compatible land uses, including:

Boarding houses; Child care centres; Commercial premises; Community facilities; Educational establishments; Entertainment facilities; Function centres; Home industries; Information and education facilities; Medical centres; Passenger transport facilities; Recreation facilities (indoor); Registered clubs; Respite day care centres; Restricted premises; Roads; Service stations; Shop top housing; Signage; Tourist and visitor accommodation; Water recycling facilities.

The objectives of the B4 zone are:

1. To provide a mixture of compatible land uses.

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2. To integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling.
3. To allow for residential development in the Hurstville City Centre while maintaining active retail, business or other non-residential uses at street level.

The B4 zone allows for a range of compatible land uses, including:

Boarding houses; Car Parks; Child care centres; Commercial premises; Community facilities; Dual Occupancies; Educational establishments; Entertainment facilities; Function centres; Hostels; Hotel or motel accommodation; Information and education facilities; Medical centres; Mortuaries; Multi Dwelling Housing; Passenger transport facilities; Places of Public Worship; Recreation Areas; Recreation facilities (indoor); Registered clubs; Residential Flat Buildings; Respite day care centres; Restricted premises; Roads; Seniors housing; Service Stations; Shop top housing; Signage; Tourist and visitor accommodation; Veterinary Hospitals.

The objectives of the R3 zone are:

1. To provide for the housing needs of the community within a medium density residential environment.
2. To provide a variety of housing types within a medium density residential environment.
3. To enable other land uses that provides facilities or services to meet the day-to-day needs of residents.
4. To ensure that a high level of residential amenity is achieved and maintained.
5. To provide for a range of home business activities, where such activities are not likely to adversely affect the surrounding residential amenity.

The R3 zone allows for a range of compatible land uses, including:

Animal boarding or training establishments; Attached dwellings; Bed and breakfast accommodation; Boarding houses; Building identification signs; Business identification signs; Car parks; Child care centres; Community facilities; Dual occupancies; Dwelling houses; Environmental protection works; Exhibition homes; Exhibition villages; Flood mitigation works; Group homes; Home-based child care; Home businesses; Home industries; Multi dwelling housing; Neighbourhood shops; Places of public worship; Recreation areas; Recreation facilities (indoor); Residential flat buildings; Respite day care centres; Roads; Secondary dwellings; Semi-detached dwellings; Seniors housing; Shop top housing; Water recycling facilities; Water reticulation systems

5 Strategic Planning Context

The following provides a summary of the strategic planning documents considered to be most relevant to this proposal.

2014 NSW Population and Dwelling Projections

The population of Hurstville LGA is projected to increase by 22,150 for the period 2011-2031. This equates to a need for an additional 9,300 new dwellings.

Amendment No. 3 to Hurstville LEP 2012 was made in July 2015. It is estimated that this amended LEP creates capacity for an additional 4,000 new dwellings post 2036. This is a significant shortfall on the 9,300 new dwellings required for the Hurstville LGA by 2031.

Hurstville Council needs to plan for additional dwellings to cater for projected population growth.

NSW 2021—State Plan

NSW 2021 replaces the NSW State Plan as the government's ten-year strategic business plan setting priorities for action and guiding resource allocation. The key objectives of NSW 2021 are to:

- Rebuild the economy
- Provide quality services
- Renovate infrastructure
- Restore government accountability
- Strengthen the local environment and communities.

A Plan for Growing Sydney

A Plan for Growing Sydney (the Sydney metropolitan strategy) is the NSW Government's 20-year plan for the Sydney Metropolitan Area. It provides direction for Sydney's productivity, environmental management, and liveability; and for the location of housing, employment, infrastructure and open space.

The recognised key drivers to preparing this new strategy are:

- Sydney's population is now expected to rise by more than 1.4 million by 2031 and this additional population will require 545,000 more homes and 625,000 more jobs.
- Our population will change by 2031, with 900,000 people over the age of 65 which is nearly twice as many people over that age today. There will also be more than one million people under 15 years of age.
- Over the past decade there has been insufficient provision of housing and the infrastructure needed to meet our growth

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challenges that has resulted in housing affordability and transport problems across the metropolitan area.

The strategy sets targets for an additional 664,000 homes and 689,000 jobs by 2031.

Goals, Directions and Actions identified in the strategy that are relevant to this Planning Proposal are as follows:

Goal 1: A competitive economy with world-class services and transport

1. Direction 1.7: Grow Strategic Centres—providing more jobs closer to home.

1. Action 1.7.1: Invest in strategic centres across Sydney to grow jobs and housing and create vibrant hubs of activity

Goal 2: A city of housing choice, with homes that meet our needs and lifestyles

2. Direction 2.1: Accelerate housing supply across Sydney

1. Action 2.1.1: Accelerate housing supply and local housing choices

3. Direction 2.2: Accelerate urban renewal across Sydney – providing jobs closer to home.

1. Action 2.2.2: Undertake urban renewal in transport corridors, which are being transformed by investment, and around strategic centres

4. Direction 2.3: Improve housing choice to suit different needs and lifestyles

1. Action 2.3.3: Deliver more opportunities for affordable housing

Goal 3: A great place to live with communities that are strong, healthy and well connected

1. Direction 3.1 Revitalise existing suburbs

2. Direction 3.3: Create healthy built environments

3. Direction 3.4: Promote Sydney's heritage, arts and culture

1. Action 3.4.4: Identify and re-use heritage sites, including private sector re-use through the Priority Precincts program

South Subregion

The strategy has divided Sydney into six (6) subregions with priorities identified for each subregion. Hurstville LGA is in the South Subregion.

Relevant priorities that will be considered and addressed in subregional planning for the South subregion are:

1. A competitive economy
2. Accelerate housing supply, choice and affordability and build great places to live
3. Protect the natural environment and promote its sustainability and resilience

Priorities for Hurstville strategic centre are:

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1. retain a commercial core in Hurstville, as required, for long-term employment growth; and
2. provide capacity for additional mixed- use development in Hurstville including offices, retail, services and housing.

The plan for the South Subregion (refer Figure 5) details how Hurstville is identified as a strategic centre located on the rail network that is an urban renewal corridor.

Figure 5. Metropolitan Priorities for South Subregion



Source: A Plan for Growing Sydney

Hurstville Community Strategic Plan 2021

The Community Strategic Plan is a primary document that sets clear strategic directions and provides a blueprint for building the future of Hurstville.

The Plan has been written to align with a Quadruple Bottom Line:

1. Social and Cultural Development
2. Environmental Sustainability
3. Economic Prosperity
4. Civic Leadership

Hurstville City Centre Concept Master Plan 2004

The Hurstville City Centre Concept Master Plan is a 10-point strategy to improve public infrastructure and amenity in Hurstville CBD and uphold the City's status as southern Sydney's regional centre. It includes:

1. Building our City to Protect our Suburbs—Council is committed to improving the City Centre and attracting high quality commercial and retail ventures that will create additional jobs and services for our community.
2. A New Bus Interchange—A new bus interchange will enable seamless coordination of local bus services and regional buses that are expected to travel through the City in future.
3. A New Civic Precinct—Creation of a new Civic Precinct on the current Council Civic Centre block will provide new public spaces, entertainment and community facilities and commercial buildings.
4. Better North-South Connections—Improved connections across the railway line to link the Forest Road and Ormonde Parade precincts in our City Centre.
5. Improved Railway Station Access—Improved access to the railway station including a new entry near the bus interchange, along with improved escalator and lift access
6. More Open Space—Establishment of a series of public spaces throughout the City Centre to provide community space and better pedestrian access.
7. Greening the City Centre—A program of sustainability and amenity improvements including the planting of street trees and landscaping of key gateway sites and public spaces, and the encouragement of environmentally friendly buildings in Hurstville CBD.
8. Improved traffic flow and additional public parking—Review of the traffic system to make vehicular movements more efficient and the City Centre easier to navigate, and to identify future locations for additional public parking.
9. Increased employment—Encourage more employment opportunities through increased commercial development in the City Centre.

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The Master Plan continues to provide the backdrop for guiding the future planning and development in the Hurstville City Centre and its principles are considered to remain relevant. The Master Plan, along with further background studies informed the preparation of Hurstville Local Environmental Plan 2012 (Amendment No 3) and Draft DCP No. 2.

To be more consistent with Council's long term vision for Hurstville City Centre becoming a Subregional Centre, some of the development densities in Hurstville Local Environmental Plan 2012 (Amendment No 3) are beyond those envisaged in the Masterplan.

Transport Management and Accessibility Plan (TMAP) 2013

The Transport Management and Accessibility Plan (TMAP) is a tool that is used to inform the preparation of future planning controls including Draft LEP for Hurstville City Centre (DHCCLEP). The TMAP process establishes an action plan for managing travel and shaping growth in and around the Hurstville City Centre.

Six land use scenarios were tested as part of the TMAP assessment process, ranging between 0m² and 655,000m² of new additional Gross Floor Area (GFA) in the draft LEP. The additional development would potentially serve between 7,000 and 17,000 jobs (Metropolitan Plan for Sydney 2036) and accommodate a residential population of between 4,500 and 14,000 people to 2036. The planning horizon for the TMAP is set to 2036, with recognition that some of the development potential may be realised beyond this date.

The key findings relevant to this Planning Proposal obtained from the land use and transport assessments and modelling appraisals that were used to inform the strategy development process and identify appropriate improvement plans for supporting growth and improving Hurstville City Centre's transport network are:

1. The preferred land use arrangement is land use test scenario 5, which provides for 363,000m² of additional GFA.
2. The adoption of additional floor space under land use test scenario 5 has the potential to accommodate a total employment base of between 11,000 and 14,000 jobs, and a residential population of approximately 9,500 people in the city centre.
3. New land uses identified in Land Use Test Scenario 5 allow for a highly desirable mix of growth in employment (55%) and residential land uses (104%) within the city centre, which constitutes a total growth profile of 73%.
4. The key precincts identified to accommodate a high proportion of the growth planned in the city centre are the Eastern and Western Bookmarks (City Centre gateways) and City Centre North.
5. All three precincts are situated on the boundaries to the city centre and can be accessed from the Queens Road and Forest Road corridors. Furthermore, the precincts offer opportunities to support corridors identified for future urban renewal investigations.

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6. Planned growth in the city centre supports the proposed rail and bus network improvements identified in the NSW Long Term Transport Master Plan and Sydney Rail Future planning documents and aligns with planned investigation of urban renewal corridors between Hurstville and Parramatta (west) or Macquarie Park (north).
7. Future planned growth in regional traffic will impact on the performance of King Georges Road corridor. This growth needs to be better managed by encouraging growth in centres to ensure that Sydney Metropolitan planning objectives are achieved.
8. Business as usual' road network improvements are required to support regional traffic growth and committed growth under Hurstville City Centre existing planning controls.
9. Overall the public transport system serving Hurstville City Centre is of a high quality and has the potential to accommodate additional passengers without comprising its service quality in the short term.
10. The ability of the future Sydney Train network to offer a high quality service for an increasing number of passengers will also play a key role in managing growth, which is predicted to increase by an additional 3,100 to 3,500 passengers during weekday peak periods under a conservative 'Preferred' transport test scenario.
11. Pedestrian infrastructure is currently suitable for commuter peak periods and needs to be adapted and refined to support the planned level of growth in Hurstville City Centre.
12. Walking plays a major role in how people travel to and from Hurstville City Centre and will continue to support a high proportion of demand in the future under the 'Preferred' land use scenario.
13. Walking will be the main form of travel for accessing Hurstville rail station and bus interchanges and plays a significant role in supporting access from planned residential development situated in the periphery city centre precincts.

Employment Lands Study

We have been informed that Council has commenced its Employment Lands Study that covers part of the subject site zoned B2 Local Centre (108 and 112 Forest Road, Hurstville). Council has indicated that this Study will provide recommendations on the future zoning and planning controls for these sites.

As part of the original Planning Proposal an assessment of the economic impact of the redevelopment of the subject site as a mixed-use residential/retail development has been undertaken.

The report provides an analysis of existing and future employment within the Hurstville Major Centre and Hurstville LGA, considers the employment impacts associated with the proposed development and identifies the direct and indirect economic benefits that can be generated by the proposed development. Although the report has been undertaken having consideration of the preferred design concept detailed in the original Planning Proposal, the background investigations and key outcomes are considered to be still relevant and pertinent to this amended proposal.

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It is considered that this Planning Proposal can proceed without having further consideration of any future Employment Lands Study because:

1. Support provided in the findings of the Economic Impact Assessment;
2. Uncertainty with the timing and adoption of any recommendations from Council's Study; and
3. The small scale of land holdings under consideration (1.644sm) and their isolation from the remaining B2 zoned lands.

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6 Revitalisation: A Case for Change

Gateway Site

The *Hurstville City Centre Concept Masterplan 2004* divided the Hurstville City Centre area into six precincts defined geographically and by land use function. The subject site is identified as being in the Eastern Bookend Precinct.

Council's *Draft DCP No. 2 Hurstville City Centre* outlines each precinct's Key Characteristics, Desired Future Character and Key Land Use Principles that are to be addressed by future development within the precinct.

The Draft DCP specifies the desired future character for the Eastern Bookend precinct "is to define and create a sense of entry" to the City Centre. This is to be achieved through:

1. strong built form statements;
2. feature public domain treatment; and
3. residential use dominating upper levels of development and optimise commanding views.

The key land use principles for the Eastern Bookend Precinct are summarised as follows:

1. Precinct will be characterised by a higher intensity of built form, allowing for taller buildings on designated sites to define the eastern entry to the City Centre.
2. Buildings situated along sites identified with significant frontages are to respond to their gateway context.
3. Buildings and public domain will delineate entry to the City through innovative design.
4. Landmark architecture will define points of interest, especially its prominent position on the axis of Forest Road.
5. All new development is to respond to the public realm, requiring building scale and form to retain a pedestrian scale at street level.
6. Mixed-use development will be promoted.

The planning proposal will facilitate development on the subject site that will meet the desired future character for the precinct and enhance the desired eastern gateway to Hurstville City Centre.

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Changing Face of Hurstville

Table 3 provides a summary of the most recent approvals and proposals for mixed-use developments in Hurstville City Centre. These approvals show that the city centre is currently undergoing physical change characterised by much taller residential towers.

Table 3. Proposed and approved mixed-use development sites

Address	Height
95 Forest Road, (East Quarter)	7-19 storeys
21-35 Treacy Street	16 storeys
105 Forest Road	7-13 storey
458 Forest Road	9-14 storeys
9 Dora Street	13-14 storeys
13-17 Woodville Road	19 storeys

As a result, development of these sites will begin significantly transforming the way Hurstville 'looks and feels' by:

- Creating a centre that has taller towers to provide more visual interest when approaching from all directions; and
- Reinforcing Hurstville City Centre as the main shopping, business and civic centre for the subregion.

The Planning Proposal will provide for development that integrates with the changing nature of built form and facilitate Hurstville City Centre operating as the capital of the subregion and being recognised in the future as a regional city.

Site Specific Urban Design Analysis

Significant urban design analysis has been undertaken for the subject site. This urban design analysis was undertaken to establish appropriate site-specific building envelope controls with increased building height and building separations following consideration of the comments/views of the St George Design Review Panel. The Panel

The key elements of the analysis include

- **Streetscape and Site** analysis to better understand the site and immediate surrounds.
- **Contextual Analysis** to determine key influences on an appropriate urban form.

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- **Opportunities and Constraints** informed by the contextual analysis.
- **Siting and Layout** studies to develop the optimum layout in terms of interaction with the surrounding neighbourhood.
- **View Analysis** of design concept from adjoining and proposed buildings.

The analysis has resulted in the development of a Design Concept for the subject site that has been tested to ensure that future development of the subject site as a result of this Planning Proposal will not adversely impact on the amenity of the locality in relation to:

- View sharing between the site and the adjacent developments.
- The ability of new built form to achieve solar access and maintain reasonable solar access to existing public spaces and nearby residential developments.
- The built form of the site and its built context.
- Consideration of appropriate building setbacks and building separations in conjunction with both SEPP 65 and the objectives of Hurstville City Centre DCP.

The Design Concept was then reviewed by the St George Design Review Panel (DRP) whose role is to provide independent, expert, advice on the design quality of development in Hurstville. The DRP review is supported by an independent Urban Design Peer Review.

The Design Concept has then been amended further having due regard to the recommendations of the DRP.

The Planning Proposal will provide for development that does not detrimentally impact on the amenity of the locality, particularly in relation to overshadowing, overlooking and character of the locality.

Economic Benefit

An assessment of the economic impact associated with the redevelopment of the subject site as a mixed-use residential/retail development has been undertaken for the Planning Proposal and forms part of this application.

Although the Study has been undertaken having consideration of the preferred design concept detailed in the original Planning Proposal, the Study has been amended to reflect the amendments in the current proposal.

The amended report provides an analysis of existing and future employment within the Hurstville Major Centre and Hurstville LGA, considers the employment impacts associated with the proposed development, identifies the direct and indirect economic benefits that can be generated by the proposed development and considers the future demand for housing within a defined residential catchment.

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The report concludes:

- Demand for traditional office space is subdued, with surplus capacity in the market able to accommodate future employment growth
- While the LGA has a jobs gap deficit in all industry sectors, journey to work data indicates that local workers are employed in accessible nearby centres – indicating that local residents have sufficient access to employment
- The proposed 1,150sq.m of retail GFA space is considered an appropriate level of non-residential floor space, considering the vacant capacity within the Hurstville office market
- Hurstville is becoming a more attractive residential location for both local residents and overseas migrants
- There is strong underlying demand for infill residential development, compatible with the demographic profile of market catchment residents, and evidenced by strong capital and rental growth, strong sales rates for competing developments and ongoing population growth
- The 'adaptable housing' component of the proposed development residential units align with the catchment's ageing population demand for more specialised housing
- Based on the affordability analysis first home buyer households the median price for apartments within the market catchment is \$510,000 (as outlined in Section 5.5.1), which is above the affordable range for first home buyers (FHBs) with average household incomes. Adding additional housing supply to the catchment will assist in alleviating affordability constraints.
- Between 2013 and 2016 the housing deficit is estimated at approximately 3,400 dwellings, which is expected to increase further in 2016-2021 to a housing deficit of over 7,500 dwellings
- A housing deficit will decrease access to housing for lower income groups in the catchment area, exacerbating affordability issues for FHBs on average household incomes
- The development will generate total of 63 direct one year equivalent construction jobs and 50 ongoing jobs
- In addition to the direct employment, there will 195 indirect one-year equivalent jobs created during the construction phase of the project and 307 indirect ongoing jobs.

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The proposed development will not have an adverse economic impact on the Hurstville Major Centre or its capacity to achieve its 2031 employment targets.

The proposed development will increase the housing supply in a market where population growth is expected to exceed its existing development pipeline and affordability is an issue.

Public Benefit

1. Increased aged care housing

Approximately 36% of the proposed apartments will be marketed to aged persons in the broader community. The design of the individual units and common areas will achieve a platinum rating as in the guidelines of "Liveable Housing Australia" and endorsed by aged care living associations.

The strata management will be set up to provide support services and close links with regional professionals, hospitals, Medical Practitioners and aged care Assessment Teams to ensure that persons in residence are aware of the range of support services available to them.

With 36% of the accommodation designed to allow adaptability in design to create accessible housing the development introduces longevity of purpose. This will offer the potential for a broad cross-section of the community to live in intergenerational settings, within close proximity to a major CBD with convenience of transport, shopping and importantly the capacity for its residence to remain in their home of choice as needs for care and support increase.

2. Road Widening

A 2-metre frontage to Forest Road will be dedicated to Hurstville Council to facilitate the widening of Forest Road and improvements to the intersection of Forest Road and Durham Street, Hurstville. The public will benefit significantly from the widening of Forest Road and the improved traffic conditions.

3. Voluntary Planning Agreement

It is proposed that a Voluntary Planning Agreement (VPA) be entered into with Hurstville Council to ensure the delivery of public benefits that are identified as exceeding the benefits derived from measures that would normally be expected to address the impacts of the development on neighbours or the wider community.

The VPA comprises the following:

1. \$2,280,000 cash contribution to Council; and
2. Land dedication for road widening (monetary value subject to formal valuation).

It is expected that the final value of the VPA will exceed \$3,000,000.

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There are a number key public benefits that will accrue from increased development potential from the subject site. A Voluntary Planning Agreement will ensure the delivery of additional public benefit from development of the site.

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7 Design Concept

This amended Planning Proposal seeks to facilitate a design concept that has given due consideration to the recommendations of the St George Design Review Panel (DRP) in relation to a previous revised Planning Proposal that included three (3) built form options. The DRP recommendations have been informed by an independent Urban Design Peer Review commissioned by Council. Where there is any perceived inconsistency between the DRP recommendations and the recommendations of the Peer Review, the DRP recommendations are considered to prevail because it is the Panel's role to provide the independent expert advice to Council on this matter and the peer review provides support to the Panel in making their recommendations.

The DRP Report provides comments on how the previous revised proposal responds to the 10 Design Quality Principles contained in State Environmental Planning Policy 65 - Design Quality. Table 4 provides a summary of how this amended Planning Proposal addresses the DRP comments.

Table 4. Summary of Response to DRP Comments

SEPP 65 – Design Quality Principles	DRP Comments	Response
Context and Neighbouring Character	<p>The Urban Design Peer Review has subsequently been completed and has informed a revision of this proposal. It is the Panel's view that some areas remain unresolved. These include</p> <ul style="list-style-type: none"> • The extent of three (3) - four (4) storey podium as opposed to eight (8) storey podium actually proposed. • The extent and location of lower buildings, setbacks and precise heights. • The necessity for bridging element between buildings. • The most appropriate treatment of the public domain interface to accommodate street tree 	<p>These unresolved issues are best dealt with through a site-specific DCP. It is proposed that a SSDCP be prepared and placed on public exhibition with the Planning Proposal. This SSDCP will address each unresolved issue identified by the DRP.</p>

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	planting along Forest Road.	
Built Form and Scale	<p>There has been substantial improvement in relation to public and private amenity, character of open spaces, streetscape, etc.</p> <p>The location of ground level communal open space has been satisfactorily resolved.</p> <p>The Peer Review information has largely been adopted but some very significant details remain unresolved, in particular the podium is not acceptable as proposed and the tower setbacks are inadequate.</p> <p>In summary the Panel recommends:</p> <ul style="list-style-type: none"> • The four (4) storey podium be retained, brought forward to the street property alignment, and very desirably also be continued along the street alignments in both Wright and Hudson Streets providing this alignment allows for a desirable streetscape. See further discussion in 'Landscape' below. • Continuous commercial uses be provided at street level along the three (3) frontages (rather than the residential as indicated in the submission on the two (2) side streets). • The general arrangement of the central courtyard as proposed be maintained, and critically it be developed as either a communal space for residents with necessary security, etc, OR as an activated and safe public space or as a combination 	<p>The comments in relation to the substantial improvements and the location of ground level communal open space are welcomed and noted.</p> <p>Tower heights have been amended to be in the 7-14 storey range. The Design Concept has been tested to show there will be no unacceptable overshadowing impacts on residential development or the East Quarter plaza.</p> <p>Issues relating to the final configuration of setbacks and podiums etc are best dealt with in a SSDCP.</p>

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	<p>of the two (2) with careful consideration of interfaces.</p> <ul style="list-style-type: none"> Awnings be provided to commercial frontages along all three (3) streets, rather than colonnades, provided that Council's policy in relation to street trees and other items can be accommodated. The additional five (5) slightly setback podium levels above the lower four (4) as proposed in the submission be deleted. There should be two (2) residential towers setback from the podium frontages by at least 4m. Tower heights could be in the seven (7) - fourteen (14) storey range provided they do not cause any unacceptable overshadowing impacts on residential development or the East Quarter plaza. At least 2hrs mid-winter sunlight must be maintained to existing or potential new residential units on nearby sites 	
Density	<p>The proponent argued that a density of 4:1 was essential for commercial reasons. The Panel would be comfortable with an FSR of this order but is not persuaded that it could necessarily be achieved whilst still satisfying a range of concerns in relation to built form and amenity as expressed in the Peer Review and fully supported by the Panel.</p>	<p>The Planning Proposal proposes a density of 4:1 that is in keeping with the DRP comments.</p> <p>The height and SSDCP controls will ultimately determine the achievable density on the site. Our preliminary design concept is the only detailed work undertaken that can provide a reasonable indication of what density can be achieved on the subject site. Our</p>

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		<p>work indicates that a FSR up to 4:1 is achievable and only final detailed development application will determine the final figure.</p> <p>A FSR range up to 4:1 provides a reasonable degree of flexibility that includes providing winter gardens that are included in FSR calculations.</p>
Sustainability	To be further addressed at a later stage.	Agree
Landscape	<p>The siting of open space has been much improved however it has not yet been demonstrated how this space will be successfully designed and activated via a considered program of use, circulation patterns, connections with public areas, appropriate planting and activation of adjacent building frontages, etc. The preparation of a site specific DCP is essential for this site.</p> <p>The need to provide a transition in character through to the surrounding low-density areas has substantially been addressed. Some areas of deep soil will require a minimum dimension of 10m x 10m to support large tree planting.</p> <p>It is imperative that the cross section through Forest Road and the built form fronting Forest Road allow the development of Council's public domain ambitions for Forest Road's character including street tree planting (medium size trees), banners and other street furniture elements. This may have</p>	<p>Design and activation of open space will be addressed through a SSDCP as recommended by the DRP.</p> <p>Noted</p> <p>This can be adequately addressed through a SSDCP.</p>

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	impacts for setbacks, colonnades and/or awnings. See Hurstville City Council's Public Domain Plan 2007 that sets out specific requirements.	
Amenity	Appears satisfactory amenity could be achieved with the scheme amended as recommended in this report.	Noted
Safety	The central open space is potentially very attractive but it will be critical to resolve safety issues and determine whether the space is to be communal, public or private.	To be addressed through a SSDCP
Housing Diversity and Social Interaction	These issues remain to be resolved.	The amount of retail and commercial floor space can be addressed in a SSDCP.
Aesthetics	The replanning of the building form has substantially improved the appearance of the project. However the final form will require further reconsideration in response to the comments of the Panel and detailed resolution prior to the preparation of a site specific Development Control Plan.	The building form can be addressed in a SSDCP and there will be an opportunity for the DRP to reconsider the built form and appearance more appropriately at the DA stage.

This Planning Proposal is supported by an amended Urban Design Report that reflects, explores and develops the optimum form, massing and scale of the proposed residential mixed-use development that can be accommodated on the subject site having due consideration to the recommendations of the DRP. This includes a comprehensive examination and consideration of:

- Overshadowing impacts.
- View impact.
- Compliance with SEPP 65 requirements.
- Site's opportunities and constraints.
- Existing and proposed built form in the locality.
- Interface with adjoining properties

As a result, the development of the design concept for the subject site incorporates the disciplines of architecture, urban design, landscape

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design, aged care and liveable housing design, traffic engineering and economic impact assessment.

Proposed Uses

The potential uses and approximate yields from the Concept Master Plan have been determined as follows:

Residential = 217 apartments

Retail = 1,150sm (GFA)

The proposed development can achieve a Gross Floor Area of up to 21,628m² that equates to a Floor Space Ratio over the site of 4.0:1.

Description of Design Concept

The key elements of the Design Concept (refer Figure 6) include:

- Amalgamate 5 lots to create a development site totalling 5,407 sm in area.
- 2m wide road dedication to Forest Road frontage.
- Retail areas on the ground floor and opportunity for commercial suites above to Forest Road frontage.
- Reduction in building massing by having two tower elements.
- Increased setbacks to the northern boundary to provide for deep soil planting and landscaped screening.
- Awnings to street frontages with provision for street tree planting in accordance with Council requirements.
- Creation of large north facing communal open space.
- Proposed building massing at street level is 4-storey podium designed to be compatible in scale and height to surrounding streetscape.
- Driveway access to basement car parking is at the northern end of the site off Hudson Street. Waste collection and loading dock is accessed from Wright Street.
- No unacceptable overshadowing of East quarter Plaza between the hours of 9am and 3pm.

Figure 6 provides a visualisation of what the ground floor layout may look like. This is indicative only and, subject to a Gateway determination, will be subject to further detailed design in consultation with Council at the Development Application stage.

PLANNING PROPOSAL - 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Figure 6. Concept Master Plan (Ground Level)



Urban Design

The proposed development features two vibrant nodal points along Forest Road, at the corners of both Wright Street and Hudson Street, with a dynamic street culture of retail activity mingled with residential living. The proposal acts as a Gateway to Hurstville City Centre, both on a street scale and on an urban scale, as an anchor to the Eastern Bookend Precinct.

As an entry gateway point from the eastern end of the City to the CBD and entertainment heart of the City Centre, the proposal, at 10 and 14 storeys, provides a transition between the taller forms that mark the entry to the centre such as East Quarter with 19 storeys and the lower scale adjoining residential development.

Incorporating sound environmental design principles the proposal will provide an elevated standard of residences in Hurstville through the following:

Building Massing

The building massing is generally in accordance with the recommendations of the DRP and the peer review.

Building A has a proposed maximum height of 14-storeys and Building B has a proposed maximum height of 10-storeys.

■ PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Built form is set back 6m from the north boundary with adjoining medium density residential development.

The podium and street wall height responds to the existing street wall height across the street, which is 3-4 storeys.

Apartment Design

Predominantly orientated to the north, taking advantage of passive solar design principles and natural ventilation. A small number of apartments face south, minimising privacy issues and the overlooking of neighbouring buildings. 60% of all apartments are generic 2-bedroom style that is adaptable for aged living and disabled. All units will have a private open space in the form of a balcony or wintergarden

Landscape Concept

A north facing communal open space area is provided at ground level. Secondary areas of common open space are located on roof tops.

Deep planting is provided along the perimeter of the site.

Paving stones to footpaths will be provided at ground floor in consultation with Council.

All planting will be environmentally sustainable.

As detailed landscape concept for the ground level that includes a significant area that is publicly accessible will be developed in consultation with Council at the DA stage.

■ PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Solar Access and Overshadowing

In relation to solar access and overshadowing, the Concept Master Plan has had particular regard to the following objectives:

- Ensure the proposed development can meet the requirements of SEPP 65; and
- Ensure the location, orientation and built form of towers address overshadowing impacts on neighbouring buildings, and existing public and private open spaces.

SEPP 65 Compliance

The Concept Design has been developed having regard to compliance with the principles of SEPP 65, particularly in relation to impacts on residents and neighbours.

It is considered that the Concept Design can satisfactorily address the requirements of SEPP 65.

Traffic, Access and Parking

An established network of primary and secondary roads exist at the site, connecting it to Hurstville Town Centre and allowing movement to and from the site. The major thoroughfare is Forest Road, onto which the site fronts.

Hurstville City Council has undertaken a detailed assessment of the impacts on the road network from five major high-density developments that have either been approved; or are seeking approval within the Hurstville City Centre. This includes the proposed development on the subject site.

The scope of works for the study comprises of the assessment of the following tasks:

- The trip generation rates/total extracted from the individual development traffic reports provided by Council
- The assumed trip generation rates currently being used in the Paramics model at the locations of the five developments extracted for comparative purposes
- An assessment of whether the five developments constitute a replacement of trips or additional trips will be assessed and the conclusions of this stage were discussed and agreed with Council
- The Paramics model developed by GHD for the Hurstville CBD TMAP was updated to include the above mentioned high density developments and a comparison made with the findings of the TMAP for 2021
- The turning counts from Paramics were then used in SIDRA 6.1 intersection analysis to identify the location and severity of capacity constraints at nine nominated intersections potentially affected by the sites.
- Provide potential mitigation measures in order to retain an acceptable LoS at identified intersections.

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The Traffic Modelling Report has recommended a number of mitigation measures including the signalisation of the Forest Road and Hudson Street intersection.

In addition, our traffic consultants have reviewed the amended proposal and confirmed the following:

Although the land use configuration for Option 4 has been modified since the Traffic Addendum (GHD July 2015) the total expected trip generation is the same as the trip generation previously provided. Based on this no further intersection analysis is required to assess the traffic impacts of the revised development proposal.

It is considered that the proposed development resulting from this planning proposal will be able to satisfy the planning requirements on traffic engineering grounds.

ESD principles

The proposed development will be designed with the following ESD principles:

- Meet the benchmarks set out in the Building and Sustainability Index (BASIX).
- Orientation of apartments to ensure good passive solar performance.
- The majority of living spaces and balconies to have a desirable northern exposure.
- South facing living rooms to have winter gardens enclosed with adjustable glass screens that reduces heat loss from inside while simultaneously limiting noise penetration from Forest Road.
- The majority of apartments to be dual aspect, utilising cross-flow or corner natural ventilation.
- The building will have multiple entry points, each with a lift lobby, dual lifts and fire stairs, creating a reduction in corridor lengths. The corridors themselves will have natural daylight and ventilation.
- A water retention system, comprising tank storage within the basement car park levels, to capture runoff from roof and terrace levels for re-use in courtyard and terrace planters.
- Energy efficient appliances and fixtures – gas cook tops, microwave ovens, water reduction showerheads, and dual flush toilets.
- Reverse-cycle split system air-conditioning to be provided, with multiple internal fan coil units per external condenser.
- Recycling points will be located on each residential apartment floor, with further waste facilities at the ground floor.

■ PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Adaptable Housing

It is proposed that future development of the subject site will:

- Provide approximately 36% of the proposed residential units designed for adaptable uses and marketed to aged persons in the broader Hurstville community; and
- Be designed to achieve a platinum rating as in the guidelines of "Liveable Housing Australia".

PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

8 The Planning Proposal

Hurstville City Council is requested to exercise its functions under Division 4 of Part 3 of the EPA Act and prepare a planning proposal for the subject site identified as 108, 112 and 124 Forest Road and 1-3 Wright Street, Hurstville. The following planning proposal is prepared subject to the requirements of Section 55 (2) of the EP&A Act and is comprised of the following six (6) parts:

- | | |
|---------------|--|
| Part 1 | A statement of the objectives or intended outcomes of the proposed instrument |
| Part 2 | An explanation of the provisions that are to be included in the proposed LEP |
| Part 3 | The justification for those objectives, outcomes and the process for their implementation |
| Part 4 | Maps, where relevant, to identify the intent of the planning proposal and the area to which it applies |
| Part 5 | Details of the Community Consultation that is to be undertaken on the planning proposal |
| Part 6 | Project timeline |

Part 1 Objectives and Intended Outcomes

The objective of this planning proposal is to amend the statutory planning provisions that apply to adjoining sites at 108, 112 and 124 Forest Road and 1-3 Wright Street, Hurstville (the 'subject site') to facilitate an integrated mixed-use development.

The intended key outcome of this planning proposal is to facilitate development that achieves the following:

- Utilises Transport Orientated Development (TOD) principles to promote high quality mixed-use development.
- A more vibrant streetscape by activating Forest Road at the ground level with a plaza, improved pedestrian connectivity and retail space.
- Improved public domain through attractive landscaping, public art and footpath upgrades.
- Strengthen the site's function as the eastern gateway to the City Centre.
- Increased height of buildings on the site without unduly impacting upon the views and solar access of existing and future residential dwellings or existing and planned areas of open space.

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To assist in conceptualising the vision for this site an Urban Design Study of the subject site has been undertaken by the proponent with the formulation of a concept design for any future development of the subject site. A copy of the Study forms part of this proposal.

Part 2 Explanation of Amended Provisions

The Planning Proposal seeks to amend both *Hurstville LEP 2012* as follows:

1. Lands at 108 and 112 Forest Road and 1-3 Wright Street, Hurstville are shown to be zoned B4 Mixed Use.
2. Lands at 108 and 112 Forest Road and 1-3 Wright Street, Hurstville are shown to have a maximum height limit of 34.5 metres (10 storeys + lift over runs).
3. Lands at 124 Forest Road, Hurstville are shown to have a maximum height limit of 46.5 metres (14 storeys + lift over runs).
4. Lands at 108, 112 and 124 Forest Road and 1-3 Wright Street, Hurstville are shown have a maximum Floor Space Ratio of 4:1;

The amended provisions apply to the lands identified in Table 5.

Proposed changes to the *Hurstville LEP 2012* maps are detailed in Part 4 of this proposal.

Table 5: Land Details for Subject Site

Address	Legal Description
108 Forest Road, Hurstville	Lot 1 DP78322
112 Forest Road, Hurstville	Lot 1 DP75572
124 Forest Road, Hurstville	Lot 4 DP421391
1 Wright Street, Hurstville	Lot 55 DP78322
3 Wright Street, Hurstville	Lot 54 DP78322

PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Part 3 Justification

Section A Need for a Planning Proposal

1. Is the Planning Proposal a result of any strategic Study or Report

No, This Planning Proposal is not the result of any strategic study or report. This Proposal has been prepared as a result of a request from the landowner supported by a comprehensive site analysis and urban design investigation. A copy of the Urban Design Report forms part of this proposal.

2. Is the Planning Proposal a better means of achieving the objectives or intended outcomes, or is there a better way

Yes. The proposal involves amendments to the Hurstville LEP 2012 that are considered to be of significance and require exhibition and community consultation. The planning proposal is the best way of achieving this outcome.

Section B Relationship to Strategic Planning Framework

3. Is the Planning Proposal consistent with the objectives and actions contained within the applicable regional or sub-regional strategy (including the Sydney Metropolitan Strategy and exhibited draft strategies)?

Yes. The Planning Proposal is considered to be consistent with the goals of the recently released metropolitan strategy *A Plan for Growing Sydney*.

Table 6 provides an assessment of the consistency of the Planning Proposal against the relevant goals contained within the strategy. In particular, the Planning Proposal will:

- Provide an opportunity to increase housing supply without negatively impacting upon the provision of jobs; and
- Provide more homes close to jobs and public transport in the strategic centre of Hurstville; and

■ PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Table 6. Consistency of proposal with applicable Metropolitan Strategy

Goal 1: A competitive economy with world-class services and transport		
Direction	Comment	✓/X
Direction 1.7: Grow Strategic Centres—providing more jobs closer to home.	The proposal is seen as an investment in the strategic centre of Hurstville that will grow jobs and housing and help create a vibrant hub of activity. The proposal will strengthen Hurstville's role as a major strategic centre.	✓
Goal 2: A city of housing choice, with homes that meet our needs and lifestyles		
Direction	Comment	✓/X
Direction 2.1: Accelerate housing supply across Sydney	The proposal will provide an additional 217 dwellings and improve local housing choices. The provision of well-located higher density housing will help meet the expected future needs of Hurstville.	✓
Direction 2.2: Accelerate urban renewal across Sydney – providing jobs closer to home.	The proposal will provide for urban renewal in a strategic centre that is located on a transport corridor that is being transformed by investment.	✓
Direction 2.3: Improve housing choice to suit different needs and lifestyles	The proposal will deliver more opportunities for affordable and adaptable housing.	✓
Goal 3: A great place to live with communities that are strong, healthy and well connected		
Direction	Comment	✓/X
Direction 3.1 Revitalise existing suburbs	The Planning Proposal will provide an injection of vitality into the eastern boondock precinct of Hurstville with publicly accessible open space and improved pedestrian connectivity. The proposal will increase activity in the centre of Hurstville. It will help to make efficient use of existing infrastructure, increase housing supply, allow more trips to be made by public transport and help strengthen the customer base for local businesses. Locating a greater proportion of dwellings closer to employment and services will also help make the area more liveable and socially inclusive.	✓
Direction 3.3: Create healthy built environments	The proposal will encourage efficient use of water, energy and resources.	✓

PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

South Subregion		
Priorities for South Subregion	Comment	✓/X
A competitive economy	The proposal provides for economic growth in the form of a new retail and business premises that are sustainable as well as an increased customer base for the area's businesses. The proposal will help strengthen Hurstville's role as a major centre.	✓
Accelerate housing supply, choice and affordability and build great places to live	Proposal will deliver a mix of well-designed housing located near jobs and public transport.	✓
Protect the natural environment and promote its sustainability and resilience	The proposal will not detrimentally impact on the natural environment. Increasing residential density in locations that are well served by public transport will lessen the reliance on motor vehicles and improve air quality. The proposal provides for redevelopment in close proximity to the Illawarra and East Hills railway lines that will help make the development sustainable and resilient.	✓
Priorities for Hurstville	Comment	✓/X
Retain a commercial core in Hurstville, as required, for long-term employment growth;	The Planning Proposal will not hinder the attainment of this priority.	✓
Provide capacity for additional mixed-use development in Hurstville including offices, retail, services and housing.	The proposal will provide for mixed-use development including retail and housing.	✓

4. Is the Planning Proposal consistent with the local council's Community Strategic Plan, or other local strategic plan?

Yes. This Planning Proposal is considered to be consistent with the Hurstville Community Strategic Plan 2021, the Hurstville City Centre Concept Masterplan 2004 and the Hurstville Transport Management and Accessibility Plan (TMAP).

Table 7 provides an assessment of the consistency of the Planning Proposal against the relevant concepts of Council's Community Strategic Plan.

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Table 7. Consistency of Planning Proposal with Community Strategic Plan 2021

HURSTVILLE COMMUNITY STRATEGIC PLAN 2021	
Key Concepts	Comments
Social and cultural development	The proposal promotes social and cultural development through improvements to the public realm. In general, the development will promote activity in the street, which will contribute to making the area more liveable and socially inclusive.
Environmental Sustainability	The proposal promotes environmental sustainability by locating high-density residential development within walking distance of schools, shops, public transport and parks. The concept development for the site also utilises sustainability principles in regards to design and water and waste management.
Economic Prosperity	The proposal promotes economic prosperity by generating jobs (both temporary and ongoing) and by increasing the customer base of the local economy.

5. Is the Planning Proposal consistent with applicable State Environmental Planning Policies

Yes. The Planning Proposal is seen to be consistent with all relevant State Environmental Planning Policies (SEPPs).

A preliminary assessment has been undertaken on the consistency of the Planning Proposal with the applicable SEPPs. This assessment is summarised in Table 8.

A more detailed assessment of the consistency of the proposal with the applicable SEPPs will be undertaken at the development assessment stage.

Table 8. Consistency of proposal with applicable SEPPs

SEPP	Comment	Consistent ✓/X
SEPP (Urban Renewal) 2010	The proposal does not hinder the future application of this SEPP.	✓
SEPP Affordable Rental Housing) 2009	The proposal does not hinder the future application of this SEPP.	✓
SEPP No. 55 – Remediation of Land	There is no evidence/history to suggest the site is contaminated.	✓
SEPP No. 65 – Design Quality of Residential Flat Development	Any future development on the site will be designed to comply with the requirements of this SEPP.	✓
SEPP (Building	Any future development on the site will be	✓

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Sustainability Index: BASIX 2004	designed to comply with the requirements of BASIX.	
SEPP (Infrastructure) 2007	The proposal does not hinder the future application of this SEPP.	✓
SEPP (Housing for Seniors or People with a Disability) 2004	The proposal does not hinder the future application of this SEPP.	✓

6. Is the Planning Proposal consistent with applicable Ministerial Directions (s 117 directions)?

Yes. Table 9 provides an assessment of the Planning Proposal against the applicable Ministerial Directions. The Planning Proposal is assessed as being generally consistent with the identified applicable Ministerial Directions.

Table 9. Consistency of proposal against Applicable Ministerial Directions

Ministerial Direction	Comment	✓/X
3. Housing, Infrastructure and Urban Development		
3.1 Residential Zones	Proposal will improve the choice, accessibility and distribution of housing stock. It will also help reduce the consumption of land on the urban fringe.	✓
3.4 Integrating Land Use and Transport	The proposed amendments to the LEP will provide for development of the site to achieve the following planning objectives: (a) improving access to housing, jobs and services by walking, cycling and public transport, and (b) increasing the choice of available transport and reducing dependence on cars, and (c) reducing travel demand including the number of trips generated by development and the distances travelled, especially by car, and (d) supporting the efficient and viable operation of public transport services.	✓
6. Local Plan Making		
6.1 Approval and Referral Requirements	The Planning Proposal does not include any consultation, concurrence or referral provisions.	✓
6.3 Site Specific Provisions	The objective of the planning proposal is to rezone the site to an existing zone already applying in the draft LEP.	✓

PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

7. Metropolitan Planning

7.1 Implementation of Metropolitan Plan for Sydney 2036	The proposal is identified as being consistent with the key directions for the provision of housing.	✓
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Section C Environmental, Social and Economic Impact

7. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

No. The proposal does not apply to land that has been identified as containing critical habitat or threatened species, populations or ecological communities, or their habitats. Should it be discovered through community consultation, or by another means, that species, populations, communities or habitats may be adversely affected, this will be taken into consideration and the planning proposal will be modified if necessary

8. Are there any other likely environmental impacts as a result of the Planning Proposal (and if so), how are they to be managed?

The sites identified at 108 and 112 Forest Road have been used for light industrial purposes and should be subject to further detailed investigations in relation to potential land contamination as part of any future development application on the site.

There are a number of locally significant heritage items identified within the generally locality of the subject site. These items are along Forest Road and The Avenue. While not adjoining the subject site, a more detailed heritage impact assessment should be undertaken as part of any future development application on the subject site.

9. Has the Planning Proposal adequately addressed any social and economic effects?

Yes. The economic effects of the proposal have been adequately addressed in an Economic Assessment Study that forms part of the original Planning Proposal. Although the Study has been undertaken having consideration of the preferred design concept detailed in the original Planning Proposal, the background investigations and key outcomes are considered to be still relevant and pertinent to this amended proposal.

The Economic Assessment Study provides:

- An overview of study area and local context
- An analysis of existing and future employment within the Hurstville Major Centre and Hurstville LGA
- Consideration of the employment impacts associated with the proposed development
- Identification of the direct and indirect economic benefits that can be generated by the proposed development
- Consideration of the future demand for housing within a defined residential catchment.

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Specifically, this study has found that:

- Demand for traditional office space is subdued, with surplus capacity in the market able to accommodate future employment growth
- While the LGA has a jobs gap deficit in all industry sectors, journey to work data indicates that local workers are employed in accessible nearby centres – indicating that local residents have sufficient access to employment
- The proposed 1,150sq.m of retail GFA space is considered an appropriate level of non-residential floor space, considering the vacant capacity within the Hurstville office market
- Hurstville is becoming a more attractive residential location for both local residents and overseas migrants
- There is strong underlying demand for infill residential development, compatible with the demographic profile of market catchment residents, and evidenced by strong capital and rental growth, strong sales rates for competing developments and ongoing population growth
- The 'adaptable housing' component of the proposed development residential units align with the catchment's ageing population demand for more specialised housing
- Based on the affordability analysis first home buyer households the median price for apartments within the market catchment is \$510,000 (as outlined in Section 5.5.1), which is above the affordable range for first home buyers (FHBs) with average household incomes. Adding additional housing supply to the catchment will assist in alleviating affordability constraints.
- Between 2013 and 2016 the housing deficit is estimated at approximately 3,400 dwellings, which is expected to increase further in 2016-2021 to a housing deficit of over 7,500 dwellings
- A housing deficit will decrease access to housing for lower income groups in the catchment area, exacerbating affordability issues for FHBs on average household incomes
- The development will generate total of 63 direct one year equivalent construction jobs and 50 ongoing jobs
- In addition to the direct employment, there will 195 indirect one-year equivalent jobs created during the construction phase of the project and 307 indirect ongoing jobs.

10. Is there adequate public infrastructure for the planning proposal?

Yes. The locality of the Planning Proposal is well serviced by existing public infrastructure, notably public transport and road infrastructure. The site is located within 650m of the Hurstville Railway Station and the Hurstville Bus Interchange. The site is also well located in relation to Allawah Railway Station.

The site is also well serviced by the key public utility services including water, sewer, electricity, telephone and Internet services.

PLANNING PROPOSAL – 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

11. What are the views of State and Commonwealth public authorities consulted in accordance with the gateway determination?

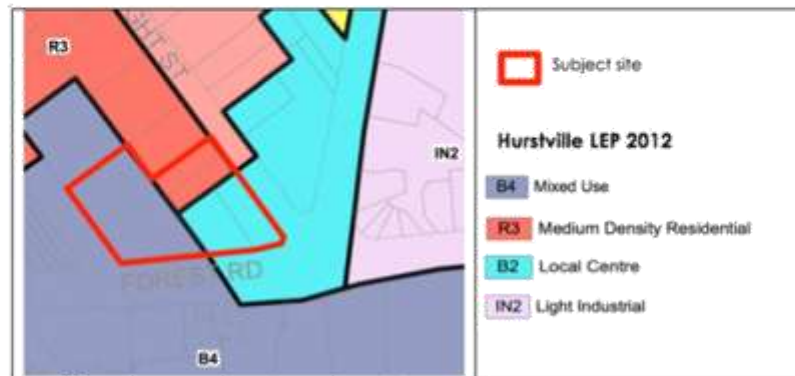
Consultation with other public authorities has not occurred at this stage of the gateway process. It is expected that any consultation will be identified following the gateway determination.

PLANNING PROPOSAL - 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Part 4 Mapping

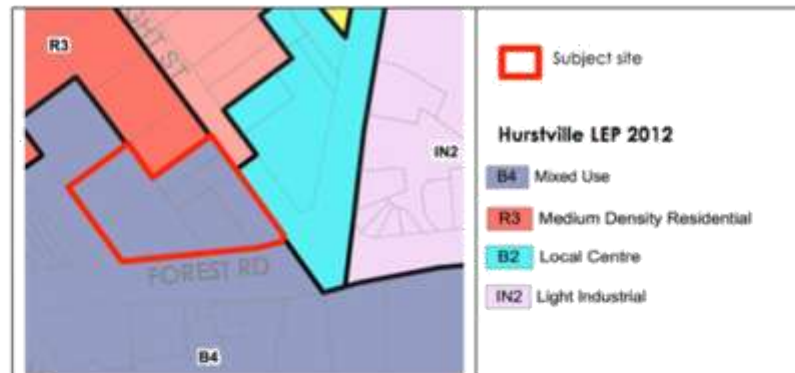
The following maps identify the intent of the planning proposal and the area to which it applies.

Figure 7. Existing Zoning Map for HLEP 2012



Source: HLEP 2012.

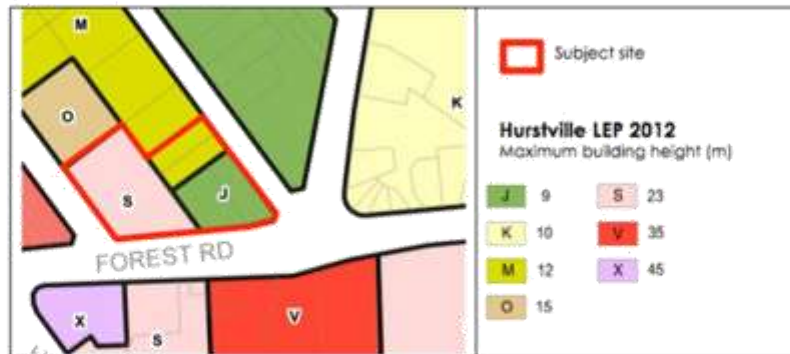
Figure 8. Proposed Zoning Map for HLEP 2012



Source: HLEP 2012.

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Figure 9. Existing Height of Buildings Map for HLEP 2012



Source: HLEP 2012

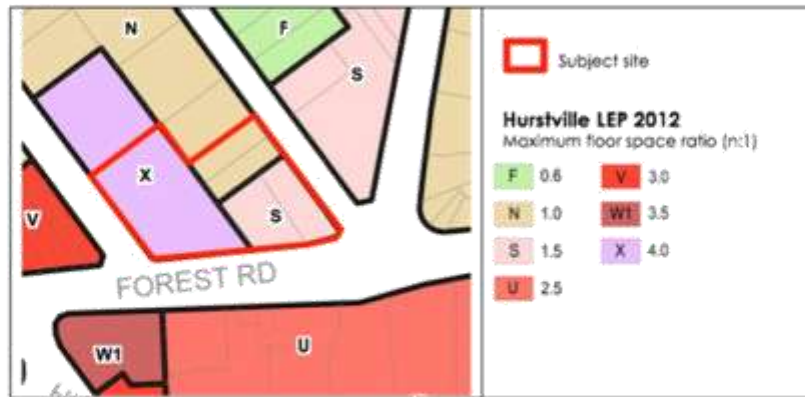
Figure 10. Proposed Height of Buildings Map for HLEP



Source: HLEP 2012

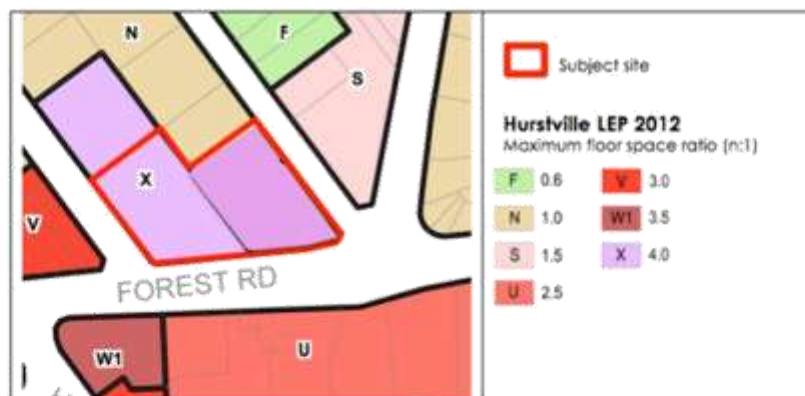
PLANNING PROPOSAL - 108, 112 & 124 FOREST ROAD & 1-3 WRIGHT STREET, HURSTVILLE

Figure 1.1. Existing Floor Space Ratio Map



Source: HLEP 2012

Figure 12. Proposed Floor Space Ratio Map



Source: HLEP 2012.

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Part 5 Community Consultation

Community consultation will be undertaken in accordance with the requirements of the gateway determination.

It is anticipated that any public exhibition would include:

- Advertisement in a local newspaper
- Notification letters to relevant State Agencies and other authorities nominated by the Department.
- A supporting Information Brochure.
- Notification (via letter) to land holders of properties within the local area.
- Advertise and exhibit the Planning Proposal on Council's website.
- Exhibit the Planning Proposal at Council's Customer Services Centre.
- Undertake any other consultation methods Council may deem appropriate for the proposal.

Part 6 Project Timeline

Table 9 provides project timelines having regard to identified milestones and estimating approximately 12 months from submitting the proposal with NSW Planning and infrastructure to the amending LEP being made.

Table 10. Project Timeline

Milestone	May - 16	Jun - 16	Jul - 16	Aug - 16	Sept - 16	Oct - 16	Nov - 16	Dec - 16	Jan - 17	Feb - 17	Mar - 17	April - 17
1. Submit to NSW Planning and Infrastructure (P&I) for gateway determination												
2. Council receives Gateway determination												
3. Public exhibition												
4. Report to Council outcomes of public exhibition												
5. Forward proposal to P&I												
6. Proposal is drafted and made												

Urban Design Peer Review and SEPP 65 Assessment Report



Of Planning Proposal for

108, 112 and 124 Forest Road and 1-3 Wright Street
Hurstville

Date: 2 December 2015

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I. Introduction

GM Urban Design and Architecture (GMU) have been engaged by Hurstville City Council to undertake an urban design assessment of a Planning Proposal for 108, 112 and 124 Forest Road and 1-3 Wright Street, Hurstville (the subject site).

This report provides a discussion about the site, its context and whether the planning proposal responds appropriately to the context, current planning guidelines and policies. The report also discusses the planning proposal with respect to the nine (9) principles of SEPP 65 and provides recommendations on the scale and yield that we consider to be appropriate for the subject site as a potential alternative to the proposal.

I.1 Methodology

In arriving at the opinions and recommendations included in this report, GMU have conducted a desktop review of the available documentation for the Planning Proposal. We have also reviewed the applicable strategic direction for Hurstville and the site as well as the background information for the council controls and the desired future character established in the DCP.

GMU has also visited the site and conducted a contextual analysis of the location of the site and its relationship to other elements of Hurstville centre including the scale relationship with the recently built or approved built forms. In our analysis, we also took into account the public domain and the overall character of this part of the Hurstville centre. Any recent changes to the planning instruments via planning proposals have been taken into account as part of the potential future character for the centre's overall scale if supported by Council.

The proposal's compliance with SEPP65 and the context analysis are provided at the beginning of the report and inform the recommended outcome for the site. GMU have prepared an alternative strategy for the site based on this work to inform the potential direction for Council.

I.2 Documents Reviewed

In preparing this report, GMU has reviewed the following applicable controls, documents and information describing the site and its immediate surroundings:

- Planning Proposal and urban design information including Planning Proposal Report by CT Group, Architectural Design Report by George El Khouri Architects, Natural Ventilation Statement by Windtech (produced for an old scheme from June 2014), Support Services Statement (June 2014), Traffic Addendum Report (October 2015) and a full Traffic Impact Assessment (June 2014), Economic Impact Assessment by Urbis (October 2015).
- Recent Development Applications in the area:
 - a. 105 Forest Road & 1A Hill Street Hurstville
 - b. 93 Forest Road Hurstville (Stage 3)
 - c. 1-5 Treacy Street Hurstville
 - d. 21-35 Treacy Street Hurstville
- Recent Planning Proposals in the area:
 - a. 93 Forest Road Hurstville (Not determined yet, Approved at Gateway)
 - b. 53-75 Forest Road, 108-126 Durham Street and 9 Roberts Lane, Hurstville (Not determined yet)
- Hurstville Local Environmental Plan 2012
- DCP 2 – Hurstville City Centre (Amendment No. 6) - Applies to 124 Forest Rd.
- Hurstville DCP 1 – LGA Wide DCP - Applies to 108, 112 Forest Rd and 1-3 Wright St Hurstville
- Hurstville City Centre Masterplan 2004
- Background to Hurstville City Centre Planning Controls
- Employment Lands Study

- Hurstville City Centre Urban Form Study by Dickson Rothschild - 2007
- A Plan for Growing Sydney 2014 and draft South Subregional Strategy 2007

1.3 Executive summary

The purpose of this report is to prepare a peer review and SEPP65 assessment report considering the proposed Planning Proposal and an appropriate scale and yield outcome for the proposed development site at 108, 112 and 124 Forest Road and 1-3 Wright Street, Hurstville.

The general observations by GMU include:

- Although the site is within the Eastern Bookend precinct and forms part of the experience of entering into the centre, it is not a landmark site;
- The subject site is a transition site between taller forms that mark the entry to the centre such as East Quarter site with 19 storeys as a maximum height and the lower scale residential development on the east and mixed use development to west and south;
- The heights on the opposite side of the site along Forest Road set the appropriate scale for the subject site including the street wall height and setbacks;
- The proposed height is excessive and the configuration of the massing does not respond well to the context;
- The proposed public square and the undercroft are not supported;
- The proposal needs to provide more separation to the neighbouring properties to the north and a better scale relationship;
- The alignment with Forest Road is an important element to achieve the enhanced outcome for the site and an active frontage to the street.

GMU's recommendations:

- GMU recommended 2 options that show a height between 13-10 storeys as a maximum height. The proposed massing indicates two towers responding to both the eastern and western corners;
- The podium and street wall height need to respond to the existing street wall height across the street, which is 3-4 storeys;
- The plaza is not considered appropriate in this location and alignment and continuity of the street edge on this corner is required;
- A setback and landscape screening is required to the northern properties;
- Greater separation to the north will allow for additional open space on the ground level, which provides opportunity for a north facing communal open space;
- Roof top terraces for each building are also encouraged, but they should not be connected with a skybridge due to safety reasons.

Conclusion:

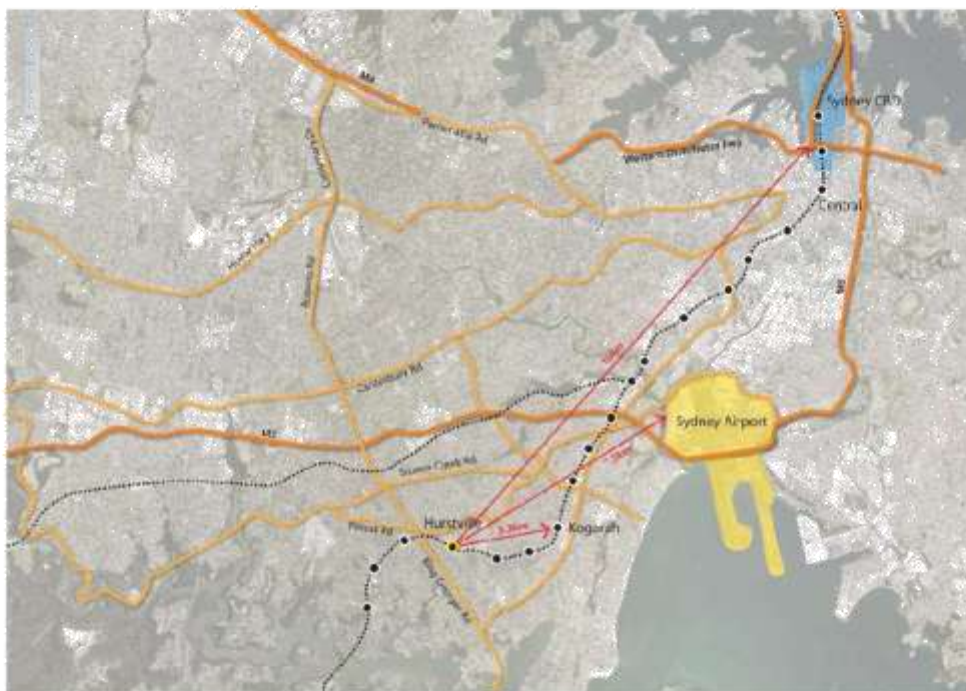
The proposal is not supported in its current form. Further amendments to the scale and density for the site are required.

2. Context

2.1 Broader Context

Hurstville City Centre located approximately 16 km south from the Sydney CBD and 7-8km south-west from the Sydney Airport. The centre is well connected via Forest Road. This collector road provides links to the M5 and King Georges Road. Princes Highway is located to the south-east of Hurstville providing other links to strategic areas.

Two train lines run through Hurstville – East Hill and the Illawarra Line. The next major centre, Kogarah, is located only approximately 3km to the east. Sydney CBD is approximately 25-30 minutes by train.



The broader Hurstville context.

Hurstville City Centre spreads along Forest Road and is divided by the train line into two parts. The northern part is more vibrant and commercial in character and lies in the Hurstville LGA. The southern side is more residential in character and lies in the Kogarah LGA. The centre is characterised by changes in topography with the highest points at the centre (approximately at the station) and the two entry points to the centre from the east and west.

These entry points are located at the intersection of Kings Georges Road and Forest Road (western entry) and the intersection of Forest Road with Durham Street (eastern end). Although the western roads carry a greater traffic load, the eastern intersection provides the most direct access to the centre when approached from the Sydney CBD or the airport. Therefore it also forms an important entry point. The distance of the centre between the eastern and western entry points is approximately 2km.



2.2 The immediate context

The subject site is located at the eastern end of the city. It forms part of the blocks which contribute to the sense of arrival to the centre from the east. The primary address and orientation of the site is to its southern boundary with Forest Road. This gives the site an address within the centre's main street.

Forest Road changes its character along its length within Hurstville. It begins to the east as a major collector road up to the intersection with Croydon Road. As it travels into the centre its character then changes to that of a more local collector and the city's main street. It becomes a one way road in the middle of the centre allowing the traffic from the west only.

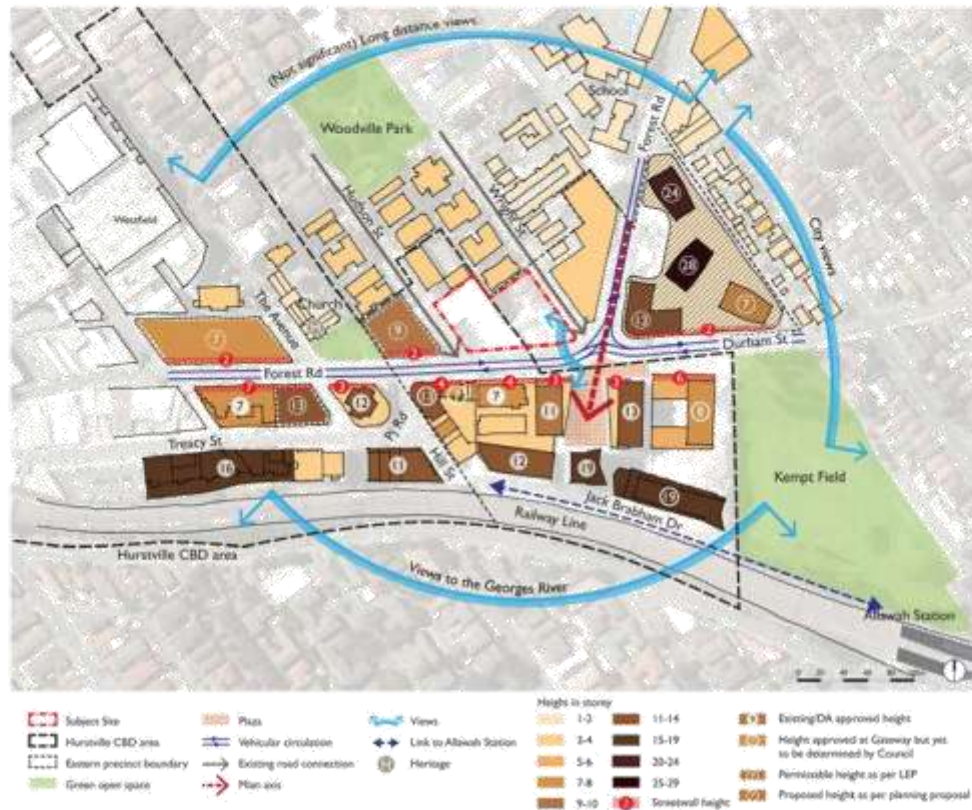
The eastern end of the centre is defined as a gateway through a marker building located in the East Quarter. This building is located at the end of an axis formed by the Forest Road's northern approach and its intersection with Durham Road.

This tower is 19 storeys and includes a large urban space at the front of the tower. As part of this complex, two lower buildings of 13 and 11 storeys line either side of the plaza. A 12 storey tower is also located on the western side of the 19 storey tower along the railway line.

New height has already been considered in this area including an 18-19 storey building to the east of the main tower with a 6-7 storey building in front (approved by State Government at Gateway Stage but yet to be determined by Council). This development will provide definition and enclosure to the eastern edge of the largest public open space in Hurstville. It is called Kempt Field and it is not well connected to the centre presently. This proposal will enable and enhance the connection.

Another 13 storey building has also been approved by the Joint Regional Planning Panels (JRPP) for the side opposite the East Quarter block. This tower will be located at the corner of Pj Road and Forest Road. This approval has a 13 storey corner element with the rest of the building lowered to 7-6 storeys. The 13 storey corner is next to a 12 storey tower which is the last

building along Forest Road before the scale of the built form reduces to below 10 storeys providing a sense of transition to the scale of the existing heritage shop top houses along Forest Road.



The subject site and its context. (Subject site outlined in red)

There is also a planning proposal which if supported, would see the eastern gateway scale further reinforced by a new 28 storey development located on the triangular site between Forest Road, Lily Street and Durham Avenue.

This site contains the highest topographic point of the eastern gateway and forms the last block of the centre. The proposal submitted to Council in August 2015 includes a low podium and three towers:

- A 13 storey tower closest to the intersection of the three streets;
- A 23-24 storey tower to the north and
- A 27-28 storey tower towards the rear of the block at its eastern end.

This configuration of lower built form closer to the street and a greater scale at the rear of the site corresponds to the massing proposed generally for the East Quarter site – the other gateway site.

There are also examples of other approvals with greater height allowed behind a lower/medium scale along the Forest Road frontage. This massing ensures that the streetscape benefits from a lower sense of enclosure to Forest Road than would occur with the towers directly on the street. It also provides a more open view towards the centre of Hurstville where the scale increases to mark the centre itself.

Further to the north beyond the site the scale and character changes from the intensity of Forest Road to low scale 1-2 storey residential dwellings with the occasional 3 storey walk up developments.

The buildings across the street from the site on the other side of Forest Road define the street with a 3-4 storey street wall height and towers of 7 to 10 storeys and 13 storeys in strategic areas such as corners. The eastern side of the site is formed by a low scale residential street heading north. The corner opposite the site on Wright Street to the east is currently occupied by a car dealership site. This site has a potential for redevelopment in the future.

The property to the west of the subject site are also low scale shops, but there is the potential under the LEP for these sites to be redeveloped to 30 m. Further to the west is a heritage church and lower scale buildings along Forest Road.

More detail information of the existing immediate context was gathered at a site visit and documented in the photographs below:



View from Hudson Street towards Forest Road.



Four storey existing residential building to the north of the subject site
- View from Hudson Street



Subject site - corner of Hudson Street and Forest Road



View towards the site from the corner of The Avenue and Forest Rd



View to the site from the corner of Treacy Street and Hill Street



View from the East Quarter plaza to the north (the site is to the left)



13 storey building in the East Quarter development on the eastern side of the plaza. A 19 storey tower at the termination of an axis from Forest Road. The tallest building in the Eastern precinct at the moment.



View from the southern side of Forest Road towards Wright Street – subject site on the left.



View along Forest Road to the west with subject side on the right.



View from Durham Street to the west – East Quarter development on the left and existing low scale to the right.



View to the site from the eastern corner of Durham Street and Forest Road.



Eastern edge of the subject site along Wright Street. View to the south. Eastern edge of the subject site along Wright Street. View to the north.

2.3 The site

The subject site is located to the north of Forest Road. The site's area is 5,414.9sqm and it has three street frontages – Forest Road frontage to the south – 89.56m; Wright Street to the east – 69.78m; and Hudson Road to the west – 50.395m. The site has an irregular shape due to the alignment of Forest Road relative to the local street network. This creates an angled boundary to Forest Road.

The site is within 600m from Hurstville Station and 500m from Allawah Station. There is a maximum 1.5m level change across the subject site with the land rising towards Forest Road.

The subject site's northern boundary is shared with 3-4 storey apartment buildings. The building on the western side is built to the boundary line. The apartments on the eastern side provide a 6m setback to the boundary.

2.4 Section Conclusion

Based on the analysis of the site and its context, the site forms a part of the eastern gateway as a whole. However, there is a hierarchy in terms of the sites that create the sense of entry and arrival and the other sites particularly to the south across Forest Road (the East Quarter) and to the east creating the intersection itself have a greater role and presence in marking this entry. These sites form the visual termination to a number of key view corridors along the streets on the approach from the east. These sites are further suitable for this role by the relative topographic levels of the road which positions them at a higher elevation than the subject site.

Therefore the predominant character of this gateway and Forest Road in this part of the eastern precinct is a low scale street wall height of 3-4 storeys with greater height varying from 7-10 storeys with some 13 storey elements behind the street wall and the greatest height located towards the rear of the sites, towards the railway or the centre of the site.

The subject site should integrate with this strategy and reinforce the role of the gateway. This would provide an opportunity for increased height and FSR, but its role within the gateway is not in our opinion sufficient to warrant the same sort of height and scale as seen in the other sites around it, particularly as seen to the rear of those sites.

The potential for the site, based on observation and analysis, is more in the order of 7- 10 or potentially 10-13 storeys built forms to respond to the existing scale and forms that face Forest Road. The streetwall height should emulate that of the development in proximity to it i.e. 3-4 storeys.

3. The proposal and its response to the controls

3.1 The proposal

GMU understands that the subject site has been the subject of a number of proposals over time. This report will focus only on the latest submission dated October 2015. The submission includes a Planning Proposal Report by CT Group and an Architectural Design Report by George El Khouri Architects with supporting technical reports.

The proposal is for an amendment of the planning controls to allow the following amendments to the LEP:

- Zoning – from partly Mixed Use, partly Medium Density Residential and Local Centre to B4 Mixed Use
- Building Height – from 23m to 60m and from 9-12m to 42m.
- Floor Space Ratio – from the three different FSRs for the site - 4:1 in the west, 1.5:1 and 1:1 in the east to 4.8:1 for the total of the site.

The proposal considers some justification for this intensification through the Metropolitan Strategy – A Plan for Growing Sydney, where Hurstville is nominated as a Strategic Centre with a strong financial and economic role servicing south subregion. Hurstville is located approximately 16km south-west of Sydney CBD, 8km south-west of Sydney Airport Precinct and 3km to Kogarah, the only other strategic centre in south subregion.

It lies within the Sutherland to Sydenham Urban Renewal Corridor with a good connectivity to the surrounding areas via the existing train lines and road network. The Strategy sets the general principle of increasing new housing and job opportunities around centres and key transport corridors to provide sustainable life and work balance as well as a stronger economic focus for strategic centres in particular. It also identifies a number of priorities for Sutherland to Sydenham Urban Renewal Corridor and Hurstville in realisation of the plan for the future growth. The focus in this plan is to essentially provide additional mixed use development with a commercial core in Hurstville for long term employment.

The design report provides a broader explanation of the purpose of this planning proposal and focuses on the analysis of Sydney metropolitan area and the role that Hurstville has. It highlights the fact that Hurstville's maximum allowable height is much lower than in other major/strategic centres in Sydney and mentions specifically centres such as Chatswood and Bondi Junction.

This argument does not take into account that both Chatswood and Bondi have a greater significance in the Sydney Metro area as they are both major train and bus interchange points and destinations for many visitors, employees and residents in greater scale than Hurstville. Chatswood is a major interchange with several train lines including North West rail link and a bus interchange. The height for this centre reflects that role. St Leonards, which is also mentioned in the report includes a major hospital and major employment uses which is also reflected in its massing. Most of the centres mentioned in the report are located within the Global Economic Corridor and therefore have a far greater role within Sydney as a global city than the role of Hurstville.

More height for Hurstville could be appropriate if the role and hierarchy of this area of Sydney is reconsidered by the Department of Planning and Environment. However, if such a strategy was suggested, greater height is more likely to be appropriate for sites in the centre closer to the station.

A typical city shape is to reinforce the centre around the railway/bus interchange node with the greatest height and transitioning the scale to the city edges. Some additional height may be appropriate for the entry gateways but this height is already evident under the LEP for Hurstville.

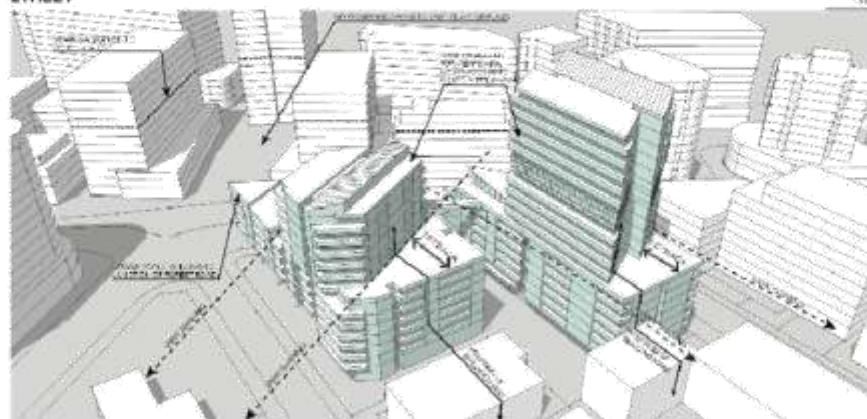
The overall height of a centre also depends on its parameters, such as the location of the main pedestrian barriers, connections, topography etc. The Hurstville centre has a length of 2km along the railway line which is far longer than most centres and impacts severely its walkability. Concentration of significant height and density so far away from the core would not support the notion of a walkable centre or support the transport node.

Design Concepts

The design report includes a number of different concepts for the site, but these options are presented without explanation of the design principles and contextual relationships that inform them or pros and cons of the different approaches. The final and preferred option presented in the architects report is the subject of this review.

D) MODELLING STUDIES (CONTINUED)

CURRENT PROPOSAL: AERIAL VIEW LOOKING AT THE JUNCTION OF FOREST ROAD AND DURHAM STREET



Notes

- The current proposal shows two building towers allowing solar access and view sharing for all surrounding apartments.
- Angled building mass above level 7 reduces the bulk of building when viewed.
- Proposed building enclosing at street level is compatible in scale and height to surrounding streetscape and buildings.
- Gateway site icon architectural appearance and strong sculptured form.
- Deep recess elements to form slender vertical proportion of existing.



October 2015

108-124 Forest Road and 1-3 Wright Street Hurstville

Architectural Design Report

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The preferred concept for the site in 3d

The applicants preferred concept locates a 19 storey tower on the western side of the site. The massing proposes an angled form with the main part of the tower aligned to a north-south orientation. A 7 storey podium structure provides the streetwall scale with the tower setback approximately 6m from the north and south in the narrowest part. A nil setback is provided to the podium abutting the northern boundary.

The western building is connected with the eastern building by a skybridge on the 7th level. The proposal explains that this is to connect the communal open spaces on the roofs of the lower parts of both buildings.

The eastern side of the site is proposed to have a 7 storey base and 12 storey tower. The tower also has an irregular shape with main facades facing south-east and north-west.

The podium elements have very strong angled massing towards Forest Road creating sharp edges on the approach to the centre from the east. Although this presents a strong statement, the relationship of the built form to the street and intersection is abrupt and aggressive. The ground plane of the proposal includes a large plaza or urban space which is located in the centre of the block facing towards the south and the proposed bus stop at Forest Road. The plaza extends through the site to the north, but terminates within the site without connection to adjoining sites or to the streets network.

The plaza also extends under the building on the eastern end creating undercroft of 3 levels. This configuration creates a reverse street wall which is not strongly responsive to the existing streetscape on the opposite side of Forest Road.

The proposed built form opposite the site on the east is setback from the northern boundary by 6m. Both side streets also have a street setback of approximately 3m.

3.2 Hurstville Local Environmental Plan 2012 (HLEP)

LHP zoning

Three different zones apply to the subject site:

- Mixed Use zone for the majority of site – lot to the west of the site. It is at the end of the Mixed Use zone which spreads from the Commercial Core near Hurstville Station to the Eastern end of Forest Road.
- Local Centre zone, which applies to the corner of Forest Road and Wright Street – this is the southern end of this zone which spreads along the eastern end of Forest Road.
- Medium Density Residential applies to 2 small lots located to the northern end of the site along Wright Street.



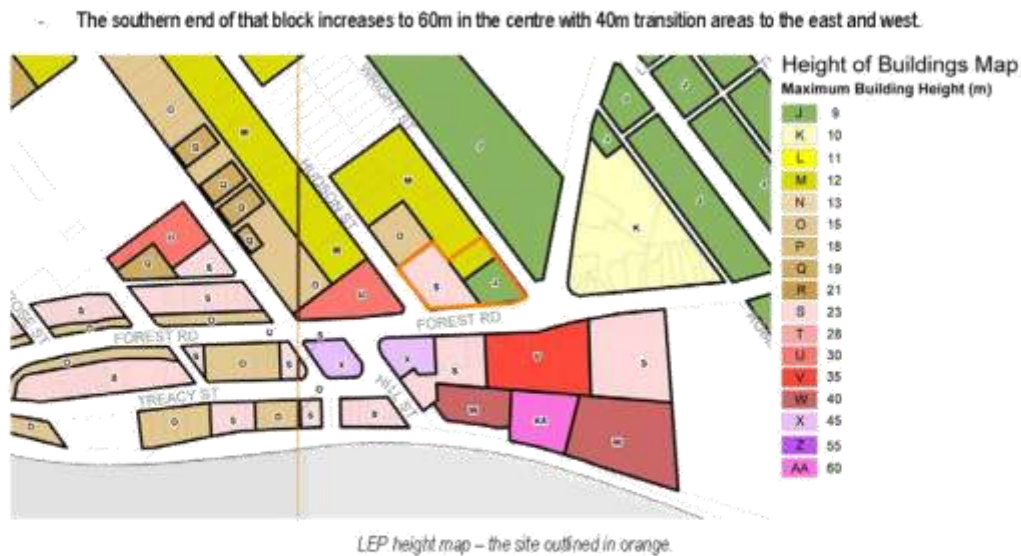
When comparing with the other zoning around the site and heights, it is clear that the subject site was always considered part of the end of the centre and its role as a transition area to adjoining lower uses.

The eastern corner of the site - 108 and 112 Forest Road (B2-Local Centre) is being investigated as part of the Employment Lands Study currently being undertaken by Hurstville City Council, which reviews all Industrial and Business Zoned land under the Hurstville LEP 2012.

LHP height

Three height zones are applicable to the site and surroundings as follows:

- 23m height limits are applicable to the western lot on the corner of Forest Road and Hudson Street.
- The same height applies across the street to the south but with an increase to 45m on the corner with Hill Street.
- A 15m height is applicable on the adjacent site to the north and a 30m height across the Hudson Street to the west.
- The corner of Wright Street and Forest Road (eastern end of the site) has a 9m height control and increases to 12m for the north-eastern end along Wright Street.
- The sites across Wright Street have a height control of 9m with 10m on the eastern corner of the intersection.
- The heights increase on the southern end of Forest Road directly opposite the subject site up to 35m height with transition to the east and west through a 23m zone.



The height focuses the majority of built form and scale along Forest Road and the train line. The height strategy shows a distinct pattern that seeks to create a 'western gateway area' at the western end of Forest Road near Pearl Street and King Georges Road (with height rising up to 40-60m), a 'central spine' around the station area (with heights of 60m, 45m and 40m) and an 'eastern gateway' which is marked by a height of up to 60m.

Apart from the eastern and western ends of the spine along Forest Road, there is a distinctive street wall height reflected in the LEP map with a maximum 15m along the central part of Forest Road- west of the site. Heritage

An Anglican Church, which is a heritage item of a local significance is close to the site to the west on the next block.

There are also a few heritage items of local significance spread along Forest Road to the west of the site towards the station. These buildings are mainly shops and residential properties with characteristic historic facades.

Hurstville Public School, located to the north-east of the site, in the block to the east is also a local heritage item (Item 28 at 80 Forest Road).

There are no State significant heritage items in proximity to the site.

FSR

Three FSR controls apply to the subject site – 4:1 on the western side of the site, 1.5:1 to the south eastern corner and 1:1 to the north-eastern side along Wright Street. If an average was taken for the site based on these applicable FSR controls, the applicable overall FSR would be 2.7:1 across the site.



LEP FSR map – the site outlined in orange

The FSR applicable in the surrounding area is 2.5:1 for the block to the south with the western corner up to 3.5:1 and 3:1. Recent approvals changed this FSR to over 3:1.

The site to the west across Hudson Street is zoned 3:1 followed by 1.4:1, but there is a block that is zoned 4:1 on the southern end of Forest Street.

The sites to the east of the subject site are zoned between 1.5:1 to 1:1.

The FSR zoning across Hurstville Centre relates to the height distribution in most areas.

The highest FSR applicable to the centre is 9:1. This is located across the street from the station. There are also a number of sites that are zoned 6:1 and they relate to the heights of 60-45m.

The 'western gateway' area has an FSR of 5:1 to 3:1, so it has greater density than the 'eastern end' of Forest Road.

Active Street Frontages

The LEP also includes a control for active street frontages. Based on the definition in the LEP, a **building has an active street frontage** if all premises on the ground floor of the building facing the street are used for the purposes of business premises or retail premises.

The site has two street fronts that are required to be active frontages – the frontage to Forest Road to the south and to Hudson Street to the west. Wright Street is envisaged to have a more residential character. The active frontages continue to the north east along Forest Road. The site is the last site with an active street before the intersection with Durham Street, which act as the termination of the retail part of the town centre.

3.3 DCP No. 2 – Hurstville City Centre (Amendment No. 6)

There are two development control plans that apply to the site. The main vision for the site and the eastern part of the centre is contained within the DCP No. 2 – Hurstville City Centre.

- The DCP was based on a background study prepared in 2004 and called Hurstville Masterplan 2004. The masterplan includes analysis of the area including an explanation of the name, which means – town on a wooded hill. This indicates that the town was established due to its topography on a small hill in the centre. There are, in fact, 3 plateaus indicated in the topography study that correspond to the eastern and western gateways and the centre.

- The Masterplan included principles such as establishing a 'green gateway' by adding landscape along Forest Road entry with new public spaces and an improved access to Allawah Station on the East Quarter site (south of the subject site). The subject site was not established as a future major development site within the masterplan, but the site to the south was already envisaged as a major site with potential uplift.
- Council LEP and DCP controls were informed by a number of background studies, including the Urban Form Study by Dickson Rothschild (2007).
- This study took into account only the western part of the subject site (124 Forest Road-western lot) dividing the subject site into two parts. These studies were interpreted into the DCP. Overall the strategy lead to the following vision for the skyline of Hurstville:

Skyline

Forest Road is aligned along the highest point of the City Centre, allowing development along Forest Road to be the most visible point of Hurstville. New buildings (particularly those along the southern side of Forest Road) are to deliver an interesting and iconic skyline for the City Centre. Along the northern side of Forest Road, building height and separation is guided by the priority of providing adequate sunlight to the public domain along Forest Road.

The DCP also divides Hurstville Centre into 6 precincts. These are:

- Western bookend -
 - Around Forest Rd and King Georges Rd intersection (the western gateway)
 - DCP's desired character for strong built form statements, feature public open spaces and mainly residential on upper levels providing commanding views defining entry to the centre, high density residential
- City Centre West -
 - Transition between western bookend and the centre - medium to high rise with trees along Forest Road
 - Transition between high intensity residential and retail /commercial mixed use
- City Centre North -
 - Promoting civic presence, street activation, transition to the surrounding residential
- Retail Core -
 - Forest Road as a pedestrianised High Street - New development will build on its highly active pedestrian environment, and multiple narrow retail frontages, interlinked with laneways and arcades.
 - Built form is to follow and reinforce the established street alignment of Forest Road, providing a continuous building line to define the public domain. Buildings are to address Forest Road, with a four storey street wall height in certain locations punctuated by tower elements in strategic locations.
 - Promoting only Retail / Commercial Uses in the Area Zoned B3 Commercial Core
 - Activating Ground Level
 - Large scale Employment Land Uses
- City Centre East -
 - Transition between eastern bookend and the centre - medium to high rise with trees along Forest Road
 - Strong pedestrian networks and linkages with surrounding areas promoting residential and mixed use but only retail/commercial in the commercial core zone to the west
 - Active street frontages

- Eastern bookend – (which includes the subject site)
- This precinct covers the area that is partially outside of the City Centre's area
- It is an eastern gateway to the centre
- It is dominated by East Quarter buildings in a prominent position on the axis of Forest Road
- The desired future character for this precinct is to define, and create a sense of entry. This will be achieved through strong built form statements and feature public domain treatment. Residential use will dominate upper levels of development and optimise commanding views; and
- to define and create a sense of entry - strong built form statements and feature public domain treatment with residential uses on the upper levels enjoying the views

The Key Land Use Principles for the Eastern Bookend are:

1. Defining entry to the City Centre – characterised by a higher intensity of built form with taller buildings on designated sites to define the entry to the centre. Buildings situated along sites identified with significant frontages are to respond to their gateway context. Landmark architecture will define points of interest, especially its prominent position on the axis of Forest Road. All new development is to respond to the public realm, requiring building scale and form to retain a pedestrian scale at street level.

The proposal responds to this principle by providing a very strong architectural concept with sharp edges and greater scale than the rest of the sites. However, as it is not a designated site, it should retain a pedestrian scale and transition down from the identified higher intensity sites.

2. High Density Residential Land Uses - Mixed-use development will be promoted. This Precinct is to provide a transition between the City Centre and surrounding residential areas. Where land adjoins established residential areas, controls require that new development be suitably designed to maintain the amenity of adjoining residential and recreational land uses.

Based on the above, the proposed Mixed Use zoning is appropriate for the site. The majority of DCP controls such as Building Separation, Solar Access, Natural Ventilation, Visual Privacy, Acoustic and Vibration Amenity, Floor to Ceiling Heights, Building Entrances and Lobbies, Undesirable and Preferred Building Entry/Lobby are now being guided by the design principles and objectives from SEPP 65 and the Apartment Design Guide (ADG). These elements of the proposal will be generally discussed under the SEPP 65 discussion.

The DCP specific controls include:

- Street Setbacks – the site has a nil setback to Forest Road and the corner of Hudson Street. The rest of Hudson Street is to have 70% built to boundary and should include retail and commercial uses on ground level. The Wright Street frontage should have 40-70% built to boundary and should be activated by lobbies and foyers.
 - o The proposal has 2 built form elements that align with the Forest Road frontage but with a large opening in the centre of the site. This is not an outcome contemplated or encouraged by the controls and undermines the activation of the street corner and edge.
- Setbacks above podiums - Taller building elements above the four storey podium, along identified sites in Forest Road must be setback a minimum of 6 meters and a maximum of 8 meters from the primary street frontage. The subject site is not identified as one of those sites, however all sites along Forest Road to the west have that requirement. Therefore it is reasonable to apply a similar scale and street treatment to the subject site as a continuation of the streetscape.
 - o The towers are not set back above the podium facing the side streets, but they are setback more than the controls require overall.
 - o The height of the podium is greater than 4 storey and it is not in keeping with the surroundings.
- Awnings and Activation - 3 orders of street hierarchy in terms of activation apply to the site - first - Forest Rd, second - Hudson Road and third - Wright Street. First and Second Order Streets: All frontages on these streets must be

active at ground floor of the building. Third Order Streets: All frontages adjoining and immediately surrounding important pedestrian connections, such as entrances to and intersections with arcades.

- The proposal doesn't indicate any awnings, but all buildings have an inset of 3m at ground level which creates an undercroft space instead. The activation is provided on the ground level.

3.4 Section Conclusion

The fundamental issue for the site when reviewing the controls is the fact that the LEP and the DCP both treat the site as part of the transition between the zones and other points of height focus. They do not treat it as a major opportunity site.

The proposal seeks a scale and form that is at odds with this role and seeks to emulate the form that is considered more appropriate for the centre itself than its edges.

The DCP controls and objectives are partially achieved in the proposal; however, in our interpretation of the controls, the site should provide a streetscape scale that is more appropriate to the human scale and the creation of a consistent street alignment and street wall.

4. SEPP 65 analysis and comment

This section of the report provides an overall assessment of the proposal against the 9 Design quality principles of SEPP 65 and the Apartment Design Guide (ADG). It provides further commentary on the proposal's performance on the issues raised in previous sections of this report including its response to the surrounding context and its performance against the applicable controls.

Principle 1: Context and Neighbourhood Character

Good design responds and contributes to its context. Context is the key natural and built features of an area, their relationship and the character they create when combined. It also includes social, economic, health and environmental conditions.

Responding to context involves identifying the desirable elements of an area's existing or future character. Well-designed buildings respond to and enhance the qualities and identity of the area including the adjacent sites, streetscape and neighbourhood. Consideration of local context is important for all sites, including sites in established areas, those undergoing change or identified for change.

Comment

The area around the site is part of the transformation of the Hurstville City Centre. There is a role for this site as part of that regeneration and intensification. However in realising this role the site still needs to respond to the developing future character and the scale of new development around it.

The site forms a minor part of the eastern gateway. The sites on the southern side of Forest Road and marking the confluence of the roads carry the visual axis of the roads and should achieve the greater height.

The subject site is part of the gateway but it is also part of transition to the centre edges adjacent to low density development and part of the transition of scale to the edge of the centre. It needs to reinforce the street wall scale and respect the lower development forms to the other side of the street and the low density residential to the north.

The street wall height around the site is 3-4 storeys and the proposal needs to continue this scale. The maximum height across the road ranges from 7-10 and 13 storeys and this sets the context for the site if it is to achieve a balanced streetscape and respond to the appropriate gradation of scale.

To the rear of the site, setbacks and lower heights need to provide transition and reduce scale impacts for adjoining dwellings.

The proposal is not consistent with this approach. The height at the streetscape is far higher and the maximum height seeks to emulate the sort of heights seen to the rear of the nearby gateway sites.

The location is not a high pedestrian traffic area but is changing. As it is on the edge of the centre activity is diminishing. A major public space is also provided within the development on the other side of Forest Road (East Quarter site). The proposal includes a large public space but such an outcome is not appropriate for a site that is part of the edge of the centre.

Principle 2: Built Form and Scale

Good design achieves a scale, bulk and height appropriate to the existing or desired future character of the street and surrounding buildings.

Good design also achieves an appropriate built form for a site and the building's purpose in terms of building alignments, proportions, building type, articulation and the manipulation of building elements. Appropriate built form defines the public domain, contributes to the character of streetscapes and parks, including their views and vistas, and provides internal amenity and outlook.

Comment

The desired future character of each of the precincts in the DCP and the description for the future of the centre in the background studies illustrate a vision in which the City Centre is marked by the eastern and western gateways that creates the bookends to the City Centre.

Of these gateways and the centre, the centre must be the dominant massing. The precincts between the bookends and City core are transition areas that should create containment to the main street and activation as well as human scale in the street wall height and proportions.

The subject site is located within the bookend precinct, so its role is as part of the transition from the higher development to the south and potentially east to the lower/medium scale along Forest Road to the west.

The role of site is therefore to maintain the streetscape as established on the other side of the street and open a contained view line between the core and the gateway.

The appropriate built form therefore would be:

- A 3-4 storey street wall height to relate to other sites creating the street wall to adjacent streets
- Establish a street alignment as per the DCP for the Forest Road frontage and Hudson Street;
- Activate the ground levels required by the DCP at the street edge, a new urban plaza is not required or appropriate and interrupts the street wall;
- Provide a maximum height that relates directly to the lower scale of the other eastern gateway proposals. We consider that a maximum height of either 10 or 13 storeys would respond to the existing scale whilst still responding to the role of the site within the gateway and still provide transitional height; and
- Minimise the bulk and scale to the northern neighbours with built form setback from the boundaries to offer a landscape buffer and a height that is no more than 1 storey above the allowable adjacent heights. This will limit overshadowing to the communal open spaces whilst ensuring the bulk and scale of this development is moderated on the boundary.

The proposed built form of the scheme has a number of elements that do not achieve these parameters. The total height of 19 storeys is excessive for this site. The proposed seven (7) storey podiums are also out of scale and dominate the street with no relationship to the other side of the road.

The three (3) storey under-croft in this area is also not justified as the area is not sufficiently activated to sustain surveillance and activation to the expanded open space on the site.

The proposal seeks heights that are not relevant to its role in the centre. These heights should be lowered to a max of 10 or 13 storeys with transitional form along Forest Road of 7 storeys with a 3-4 storey street wall.

Principle 3: Density

Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context.

Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.

Comment

The proposal seeks to increase the FSR for the site to 4.8:1. The current controls for the site are 4:1 for the larger lot to the west, 1:1 to the east on the northern corner and 1.5:1 to the south-eastern corner.

If the average FSR is calculated across the entire site, the FSR sought under the current controls would equate to 2.7:1. Therefore the proposal is seeking an increase of 2:1 across the site.

This type of FSR applies to the locations that are of greater height. There is no FSR of that range applicable within the Eastern Bookend.

The existing marker site at East Quarter has a final FSR at 3.11:1. The subject site is smaller than the East Quarter site and is part of the City Centre transition, so the requested FSR of 4.8:1 is well in excess of what should be appropriate for a less significant site, such as the subject site.

The site has some capacity for greater height and density but not that of a marker site or the City Centre. The density that results from the proposed 19 storey development is an overdevelopment for the site of this size and location.

Principle 4: Sustainability

Good design combines positive environmental, social and economic outcomes. Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and liveability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials, and deep soil zones for groundwater recharge and vegetation.

Comment

The proposal includes a statement that 50% of the proposed residential units will receive natural ventilation and 11% of units will be ventilated through the exposure to prevailing winds. The Windtech report states that special measures are required to achieve the ventilation described.

The ADG requires a minimum 60% of units up to the 9th level to be naturally ventilated. It is not clear from the material provided, whether the 61% that achieves the ventilation through a different manner applies to the lower levels of the envelopes or takes into account the total height. This needs to be clarified.

A diagrammatic representation of the units that are treated as truly cross ventilated and the units that achieve ventilation through an alternative design criterion up to level 9 needs to be provided.

The proposal indicates that 74% of the units will achieve the required 2 hours of solar access which meets the ADG requirements.

The proposal mentions use of sustainable elements such as:

- Sustainable materials;
- Passive solar design and natural ventilation;
- Energy and water efficient appliances; and
- Compliance with BASIX.

The other areas to achieve sustainability for this development would include:

- Reuse of materials during construction;
- Lightweight construction to improve cooling loads and thermal comfort;
- Exceeding BASIX requirements;
- Recycle organic waste;
- Recycling facilities provided to encourage occupant recycling including split waste chutes;
- Insulation provided to ceiling, wall and floor areas where necessary;
- Solar panels;
- Rainwater tanks provided for garden irrigation and the car wash bays;
- Upgrades to the stormwater drainage systems to assist in stormwater control for the site;

- Generous soft and deep soil landscaping areas to assist in stormwater control for the site; and
- The planting of indigenous or low water use species of vegetation.

Principle 5: Landscape

Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.

Good landscape design enhances the development's environmental performance by retaining positive natural features which contribute to the local context, co-ordinating water and soil management, solar access, micro-climate, tree canopy, habitat values, and preserving green networks. Good landscape design optimises usability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity, provides for practical establishment and long term management.

Comment

The proposal includes a landscape design concept which is characterised by linear banding and planting located between the footpaths and outdoor dining areas. There is also an intent for a 'sheltered rainforest' on the north-eastern corner in the undercroft area.

Although this is successful as a principle, it doesn't respond to the context of the site or position on Forest Road and the success of the rainforest covered by building is questioned.

The design needs to demonstrate or provide a clear statement on how the planting will be achieved and where there is provision for deep soil planting.

The proposed public plaza in the centre of the site currently leads to a neighbouring site to the north which has a blank façade facing the plaza. This is not a desired outcome.

The site is not envisaged to be a marker, high density site. It is also located on the edge of the centre, therefore the extent of the public open space is unjustified. Instead, the ground floor area could be utilised as a proper green communal open space that will provide useable area for the residents and a landscape screening to the neighbouring properties.

The provision of communal open space on the roof with appropriate screening to protect privacy to the sites to the rear is also a desirable outcome.

Principle 6: Amenity

Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident well being.

Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas, and ease of access for all age groups and degrees of mobility.

Comment

Internal unit dimensions and shapes

The proposed built form design is characterised by sharp angles. This is also reflected in the unit layout with units designed with limited areas of 90 degree corners.

Although there are no strict requirements for the shape of a unit, such an irregular shape will be difficult to furnish. The only furniture layout provided by the applicant is a rectangular apartment. This does not represent an adequate range of typical apartments in the proposed development.

Access to sunlight

The proposal states that 74% of units will achieve 2 hours of solar access which meets the requirement. The proposed plaza on Forest Road will be potentially in shadow, which would not be a good outcome. The roof terraces also need to be tested for solar access for communal open space.

The proposed towers exceed the 18m glass to glass depth of building, which may result in limited light access to kitchens and other parts of the units.

Natural ventilation

The proposal includes a statement that 50% of the proposed residential units will receive natural ventilation and that a further 11% will be ventilated through the exposure to prevailing winds. This has been documented in the Windtech report.

The ADG requires a minimum of 60% of units up to the 9th level to be naturally ventilated. It is not clear from the material provided, whether the 11% that achieve the ventilation through prevailing winds are located below level 9 or above.

This needs to be clarified as the proposal is potentially non-compliant with the ADG if it is not within the lower portion of development.

Outlook

Most of the units have appropriate orientation and outlook. There are a few units in the western building that are oriented to the east and the wall of the eastern building.

The separation provided is only 14m, which is not adequate for the 7 storey height. There are also units on the lower level facing north only 6m away from the northern boundary. Given this boundary will be a zone boundary change, then there is also an argument that an additional 3 m setback is required beyond the 50% separation in the ADG.

There is an issue of privacy and outlook for units facing north in this location as the neighbouring property has a driveway directly behind the boundary. Additional separation between buildings and setback to the neighbouring properties on the north is required so that the proposal complies with the ADG.

Visual and Acoustic Privacy

The issue of visual and acoustic privacy will potentially also affect the units on lower levels facing the eastern building given the inadequate 14m separation. The plans show that the wall that is overlooked by these apartments will have openable windows for cross ventilation which will potentially create visual and acoustic privacy for these units.

The units on the north-western corner of the site have their living space and private open space also opening up towards the neighbouring driveway. The western building does not provide any setback to the adjoining property. There are potentially acoustic issues as the garbage collection point is located in this corner for the neighbouring property.

Storage

There is no indication of storage provided in each apartment at this stage. This would need to be addressed in both the units and basements at the DA stage.

Communal space

The communal open space areas are proposed on the roof of the lower buildings. The western building will additionally have an indoor space. This space will be connected to the eastern building via a sky bridge.

In principle a communal open space on the roof is a desirable outcome for the site. However the provision of the sky bridge is a poor outcome that adds to building bulk and this should be deleted.

Communal open space needs to be provided for each building individually if on the roof.

Principle 7: Safety

Good design optimises safety and security, within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.

A positive relationship between public and private spaces is achieved through clearly defined secure access points and well lit and visible areas that are easily maintained and appropriate to the location and purpose.

Comment

Passive surveillance to public domain

The proposed depth of the undercroft creates a deeply shaded area with poor passive surveillance from the street.

This area is only activated by a small retail area on ground level, which may not be used during certain hours. This is not sufficient to activate or justify such a space.

The proposed plaza terminates in a blank wall of the next door property, with no opportunity for continuation.

This creates a 'dead end' space that is unlikely to be needed given the location and public space already provided in proximity to the site.

There is no need for such a space in this location and the provision of the space is not considered to justify the extent of GFA and height sought by the applicant.

Internal circulation

The design of the internal corridors is very convoluted and creates a number of areas for concealment, which should be avoided.

It is recommended that a CPTED report be provided as part of any Development Application to ensure security issues are resolved.

Principle 8: Housing Diversity and Social Interaction

Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.

Well designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix. Good design involves practical and flexible features, including different types of communal spaces for a broad range of people, providing opportunities for social interaction amongst residents.

Comment

The proposed mix of units includes 14% x 1 bedroom apartments, 73% x 2 bedroom apartments and 12% x 3 bedroom apartments.

This mix of units provides an adequate range of unit sizes to cater for different size families and types of residents.

The proposal also includes the potential for adaptable units.

Principle 9: Aesthetics

Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours and textures.

The visual appearance of well designed apartment development responds to the existing or future local context, particularly desirable elements and repetitions of the streetscape.

Comment

The proposed built form has a number of elements that together create a bulky and undesirable character for the site. The proposed design uses irregular angles to emphasise corners and to create a dramatic architecture.

As identified in our analysis and discussed in first two principles, the design of this site should be more transitional and offer a more recessive architecture rather than such a dominant statement.

We understand that there were a number of design amendments already, but in the latest report, the proposed built form still doesn't achieve an elegant, proportioned form. The irregular angles of the towers increase the appearance of bulk when viewed obliquely.

The impression of bulk is exacerbated by the horizontality of the balcony elements, which dominate the facades as shown in the architectural design study.

In GMU's opinion, the design for the site should be a balanced form of low scale street wall with elegantly proportioned towers which address the street.

It should incorporate interesting elements, fenestration and details within the façade that relate to the context and create articulation. The use of natural materials, metallic cladding, bricks or stone cladding instead of rendered finish is encouraged and a colour treatment should be selected that relates to the context and identity of Hurstville.

Conclusion of the SEPP65 section -

The proposal has been assessed against the 9 Design Principles of SEPP 65. The proposed design in its current form is not considered to be satisfactory in its response to the context, density, built form or amenity due to:

- The inadequate interpretation of the site and context characteristics.
- A scale and built form configuration which is not responsive to the existing or desired future context and creates excessive bulk and built form emphasis on this site.
- A geometry that sits uncomfortably on the site and delivers poor quality units and compromised separation.
- Disconnected public space that is not required or desirable in this location with potential safety issues.

5. Alternative massing options

GMU has considered the site within the existing and desired future context and established design parameters that should be applied to the site.

In our opinion the height and density sought is excessive and not warranted by the site location or its role in the creation of the eastern gateway and the City Centre transitional areas. Any development on this site needs to respond sensitively to the edge of town location, the need for transition to lower scale to the north, the height transition from town centre to edge and the scale set already on the other side of Forest Road and the intersection.

Options

In our opinion this leads to 2 potential built form options for the site.

The first option allows more density and height in recognition of the corner's role as the western edge of the gateway.

The proposed heights and street wall would be as follows:

- Total height applicable to the site to reflect the surrounding existing and allowable heights to corners which is in the range of 13-10 storeys;
- Option 1 delivers an FSR of approximately 3.6:1

The second option is driven by the principle of responding to the scale opposite the site in Forest Road and is as follows:

- 10 storeys to the corner with a podium base and a maximum of 7 storeys along Forest Road.
- Option 2 delivers an FSR of approximately 3.1-3.12:1. This is based on 2 levels of commercial use and then rest in residential and an efficiency of 75% for residential use and 80% for commercial use.

In both options the height distribution on the site should provide:

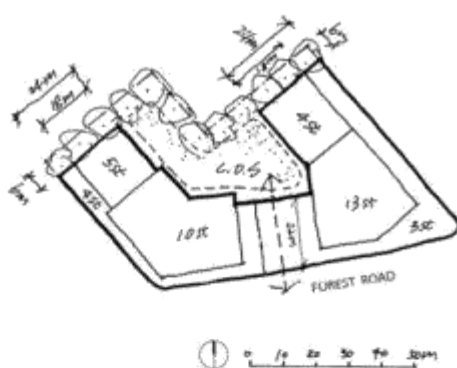
- A stronger element on the eastern corner and transition down to the west;
- A street wall height applied to the site should reflect the existing street wall heights of 3-4 storeys;
- The street containment and alignment to Forest Road should be achieved through a continuous podium;
- The setbacks above podium should be 4m minimum and 6m on average;
- The ground level to the Forest Road and Hudson Street frontage should have active uses and entries as indicated in the DCP;
- A landscape buffer and increased setback needs to be provided to the northern boundary with minimum 6-9m, with the maximum building height reflective of the heights allowable on adjacent heights i.e. 3-4 storeys; and
- There should be an opportunity to provide a ground floor communal open space on the northern part of the proposal that would be provided with excellent solar access and provide additional buffer between the proposal and the lower scale existing buildings to the north.

The following diagrams illustrate the general design concepts of the 2 options that are considered appropriate by GMU:

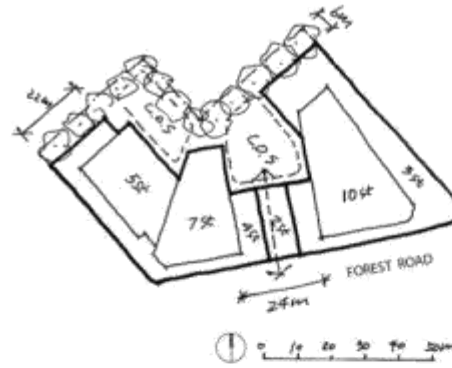


General design principle diagram

The 2 alternative massing options for the site are represented in a sketch below:



Option 1 potential for 13-10 storey development



Option 2 potential for 10-7 storey development

6. Final Conclusion

GMU has undertaken a comprehensive review of the submitted proposal for 108, 112 and 124 Forest Road and 1-3 Wright Street, Hurstville. This report includes GMU's observations and comments on particular items that need further amendments in the proposal.

We have also provided 2 general concept plans for the site. We have described our interpretation of the role of the site based on the available material and analysis of the Hurstville City Centre. Based on our review, we recommend that the applicant further amend the proposal and provide a new scheme in accordance with Option 2 above to achieve a better response to the context.

Our main concerns with the Planning Proposal as submitted in summary relate to:

- The overall height and bulk, which does not relate appropriately to the context;
- The visual impact on the surrounding and the dominating nature of the taller elements for a site rather than balancing the scale of the existing buildings across the street;
- The setback and separation distances between northern properties and within the site;
- The lack of street wall height reflecting lower human scale to the street; and
- The proposed density for the site.

The planning proposal in its current form is not recommended for approval.



10 March 2016

George El Khouri Architects
Suite 3
36 Flinders Street
DARLINGHURST NSW 2010

Our ref: 21/24588
Your ref: 214426

Dear George

**108, 112 & 124 Forest Road and 1-3 Wright Street Development
Traffic Study Confirmation - Option 4**

GHD Pty Ltd (GHD) has previously prepared the following documents in relation to the planning proposal for the proposed development at 108, 112 and 124 Forest Road and 1 – 3 Wright Street, Hurstville:

- *Development at 108-112 & 124 Forest Road, Hurstville - Traffic Impact Assessment -August 2014*
- *108-124 Forest Road Development – Traffic Addendum – July 2015.*

Further to the above reports, the purpose of this letter is provide confirmation of a revised development configuration (Option 4) and a proposed dedication of land for the future widening of Forest Road.

1 Proposal – Option 4

The proposed land use configuration for the development has been amended in order to meet the development planning requests of Hurstville City Council.

The revised development is referred to as Option 4. A summary of the proposed floor area or number of units for each land use is provided in Table 1.

Table 1 Proposed land use – Option 4

Scenario	Land use	Provision
Option 4 <i>Proposed development</i>	Residential	217 apartments comprising of: 43 one-bed apartments 130 two-bed apartments 44 three-bed apartments
	Specialty retail	1,150 m ² Gross leasable floor area (GLFA)

1.1 Projected traffic generation

An indication of the potential traffic generation from the proposed development has been based on the Roads and Maritime Services (Roads and Maritime) rates in the *Guide to Traffic Generating Developments (2002)*. The forecast peak hour traffic generation for the revised development is shown in Table 2.

Table 2 Potential traffic generation – Option 4

Scenario	Land use	Area	Trip rate	Trips generated (peak hour)	Source
Option 4 <i>Proposed development</i>	Specialty retail	1,150 GLFA	12.5 per 100 m ²	144	Roads and Maritime Guide Section 3.6.1
	Residential	435 bedrooms	0.07 per bedroom	30	Roads and Maritime Technical Direction 2013/04a
	Total			175	

As shown in Table 2 the proposed land use configuration provided in Option 4 is expected to generate a total of 175 trips within the peak hour.

Although the land use configuration for Option 4 has been modified since the *Traffic Addendum* (GHD July 2015) the total expected trip generation is the same as the trip generation previously provided. Based on this no further intersection analysis is required to assess the traffic impacts of the revised development proposal.

1.2 Proposed property dedication

As part of this planning proposal for Option 4 a two metre dedication will be provided along the frontage of Forest Road between Hudson Road and Wright Street to Council to allow for the potential future widening of this section of Forest Road. The area of property dedication is shown on drawing number 01 of the architectural drawings, which has been attached to this letter.

If you have any further queries, please do not hesitate to contact me.

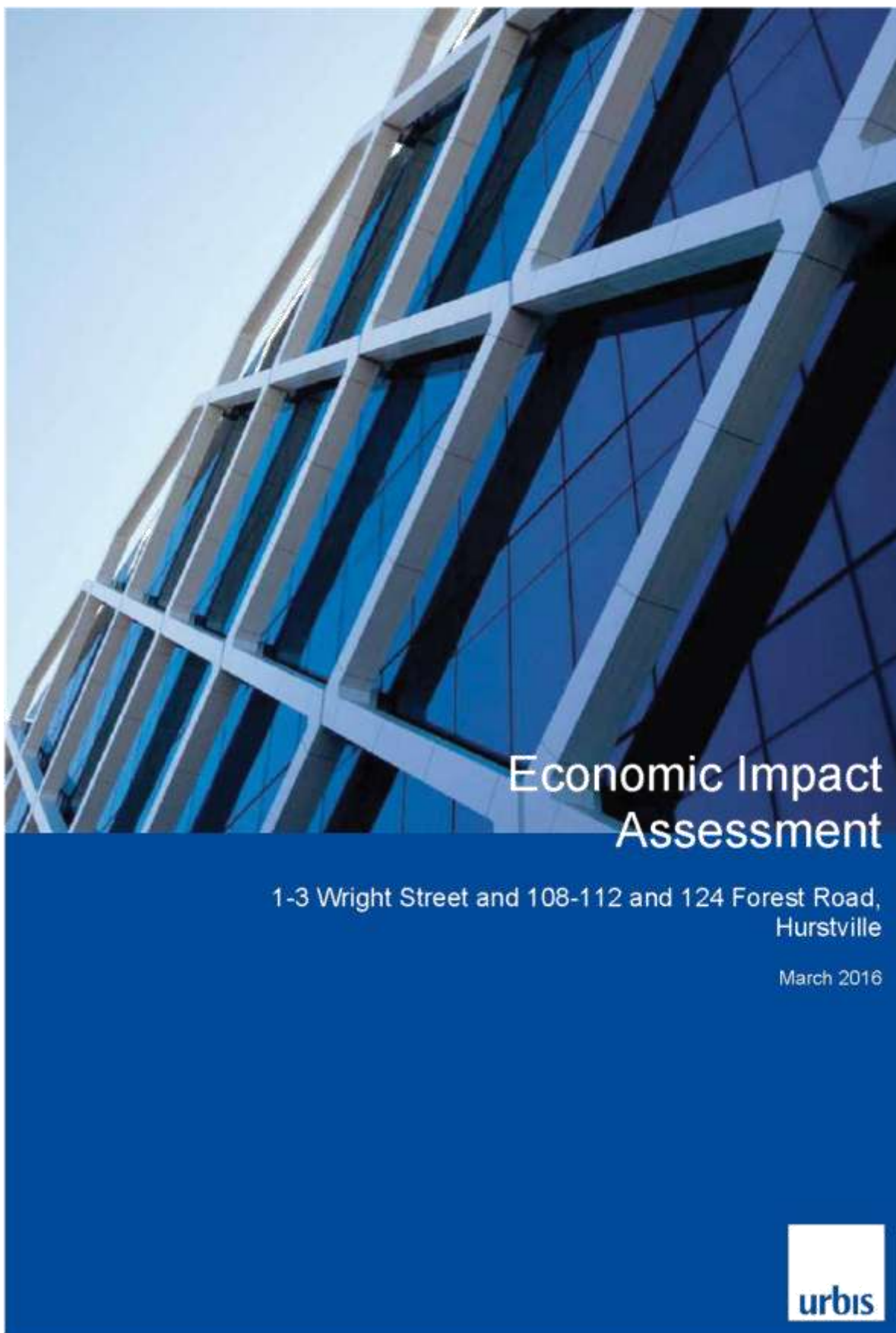
Regards



Karen McNatty

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Executive Summary

Urbis has been instructed by SLA Development Pty Ltd to prepare an economic impact assessment for the proposed mixed use development at 1-3 Wright Street and 108-112 and 124 Forest Road, Hurstville. The key findings and conclusions are outlined below:

STUDY BACKGROUND

The subject site is located at 1-3 Wright Street and 108-112 and 124 Forest Road, Hurstville within the Hurstville LGA and is in close proximity to other key locations within the Hurstville Centre, namely:

- The Hurstville railway station, 500 metres west
- Westfield Hurstville, 250 metres west (access via The Avenue)
- Hurstville Public School, 350 metres north
- Hurstville Technical Highschool, 650 metres north-east
- Medium to high density residential is located to the north of the site and along Forest Road.

The existing properties consist of industrial and retail land uses, specifically:

- 108 Forest Road, which contains an auto mechanic
- 112 Forest Road, which contains a metal factory
- 120 Forest Road, which comprises a small retail centre containing a mix of tenants, anchored by a Dick Smith and Bing Lee Electrical.

According to a survey of tenants conducted by Shanghai Lihua Hurstville Pty Ltd the existing properties currently contain 43 ongoing jobs.

PROPOSED DEVELOPMENT

Urbis have been provided with a preliminary development scheme for the redevelopment of 1-3 Wright Street and 108-112 and 124 Forest Road, Hurstville. The redevelopment will involve the amalgamation of five lots currently controlled by SLA Developments, aggregating to a total site area of 5,407 sq.m. The initial concept plan indicates a proposed mixed use development on the site comprising of Building A (14 levels) and Building B (10 levels).

TABLE 1- RESIDENTIAL MIX

UNIT MIX	NUMBER
1 Bed	43 (20%)
2 Bed	130 (60%)
3 Bed	44 (20%)
Total	217

Source: SLA Development

About 36% of the residential units outlined in Table 1 will be designed for adaptable use appropriate for aged persons and the broader community, and will be developed for the aged care and retirement

market. The design of the individual units and common areas will achieve a platinum rating per the guidelines of Liveable Housing Australia.

The proposed development will also contain 1,150 sq.m of retail GFA and public open space consisting of 3,020sq.m.

EMPLOYMENT AND WORKFORCE ANALYSIS

The total number of jobs in the Hurstville Centre exceeds the number of resident workers, illustrating it is the primary employment centre within the Hurstville LGA providing over 9,000 jobs.

Jobs in the Hurstville Major Centre are focused in:

- Public Services (18%)
- Retail Trade (17%)
- Financial Services (12%).

The smaller representation of other white collar jobs such as Information Media and Telecommunications (1%) and Professional Services (6%) illustrates that the Hurstville Major Centre is not a major commercial CBD with a diversified business tenant base.

The Major Centre accommodates a higher number of workers employed in Retail Trade (12%) and Accommodation and Food Services (13%) reflecting that Westfield Hurstville is a significant employer.

While the LGA contains the Hurstville Major Centre, 82% of its workforce is employed in other nearby employment centres. Journey to work patterns illustrate this, highlighting the following centres:

- Mascot
- Sydney CBD
- Port Botany
- South Sydney Industrial Areas
- North Ryde / Macquarie Park.

This is enabled by the LGAs proximity to these centres and train station, highlighting the LGAs amenity to workers employed in nearby employment centres.

EMPLOYMENT AND ECONOMIC IMPACTS

There appears to be sufficient capacity within the Hurstville commercial market to achieve the Draft Metropolitan Strategy job targets with the proposed development containing a mix of floorspace likely to appeal to a variety of businesses.

As of August 2014 there was an estimate of 112,300 sq.m. of net lettable area (NLA) of office space throughout Hurstville Local Government Area (LGA).

Based on a desktop analysis of advertised vacant (or imminently vacant) commercial floorspace within the Hurstville CBD, vacancy is estimated to be high at around 22.7% (including 15,000 sq.m at 20 Woniara Road, vacated in February 2015).

Future demand for commercial floorspace in the Hurstville Major Centre can be forecasted by applying the Bureau of Transit Statistics (BTS) 2012 industry sector job forecasts for the Hurstville Major Centre to the Draft Metropolitan Strategy for Sydney's job target of 5,000 by 2031.

The additional office-based jobs estimated to be created in Hurstville over the period 2011 to 2031 would generate demand for about 43,500 sq.m of office space.

With vacancy estimated at approximately 25,500 sq.m in August 2014, there would appear to be sufficient supply to accommodate white collar office- based jobs growth until 2026. Subsequent to this, annualised new supply of only 2,174 sq.m will be required to 2031.

This illustrates that the Hurstville LGA has sufficient commercial office space to accommodate the targeted jobs outlined in the Draft Metropolitan Strategy.

The proposed development will contribute a diverse mix of commercial and retail floorspace, designed for tenants from a range of industry sectors and focus on delivering additional services a growing resident population base, rather than an already well supplied commercial market.

EMPLOYMENT BENEFITS

The proposed development at 1-3 Wright Street and 108-112 and 124 Forest Road Hurstville will result in a number of direct and indirect economic benefits, at the construction stage of the development and from ongoing operations uses. These include:

- Construction jobs as a result of the proposed development have been estimated to be 195 direct and 307 indirect supplier jobs
- The direct and indirect sources of employment from ongoing operations associated with the proposed development is expected to be a total of 113 jobs, and represents net employment uplift of 3 jobs to existing employment.

RESIDENTIAL ANALYSIS

The proposed development seeks to deliver approximately 217 new units which will contribute to meeting ongoing demand for housing within the catchment area.

Based on the residential analysis outlined in this report there appears to be a need for additional housing in the Hurstville LGA to meet existing and future dwelling demand.

- Recent migration patterns (2010-11) are skewed towards a local catchment, rather than an overseas market which comprised a higher proportion of migration between 2006-11
- While overseas migration is likely to continue to comprise a significant market for residential developments, the growing local market is evidenced in historic migration patterns
- The local catchment area identified for the proposed development is focused in the surrounding LGAs of Kogarah, Rockdale, Canterbury, Sutherland Shire and Bankstown
- The age profile shows a higher proportion of residents aged over 65 years reducing the demand for larger dwelling types as well as underpins demand for the adaptable use units in the proposed development. This points to potential for stronger demand for smaller product located close to key employment / transport nodes, health and retail services
- Annual population growth for the catchment area is expected to range between 1% and 1.3% in the period 2011 to 2031
- Population growth in the catchment area is expected to translate to a housing deficit of approximately 3,400 dwellings between 2013 and 2016, which is expected to increase to over 7,500 between 2016-2021
- The significant deficit could potentially lead to a net out migration from the market catchment area as the market seeks housing elsewhere
- The lack of supply relative to demand could result in price appreciation further restricting the access to housing, particularly for first home buyers.

Introduction

Urbis have been appointed to undertake an Economic Impact Assessment of the proposed redevelopment of 1-3 Wright Street and 108-112 and 124 Forest Road, Hurstville (the subject site) to allow for its redevelopment as a mixed use residential project.

The purpose of this report is to provide an assessment of the economic impact of the proposed redevelopment as a mixed use residential / retail development.

The rest of the report is structured as follows:

- **Section 1** provides an overview of study area and local context
- **Section 2** provides an analysis of existing and future employment within the Hurstville Major Centre and Hurstville LGA
- **Section 3** will consider the employment impacts associated with the proposed development
- **Section 4** will identify the direct and indirect economic benefits that can be generated by the proposed development
- **Section 5** will consider the future demand for housing within a defined residential catchment
- **Section 6** will summarise the conclusions and recommendations arising out of the report.

1 Study Background

Section 1 of this report outlines the subject site's location, proposed development and geographical context and relevant NSW Department of Planning and Environment land use policy.

1.1 STUDY BACKGROUND

The subject site is located at 1-3 Wright Street and 108-112 and 124 Forest Road, Hurstville within the Hurstville LGA. The subject site fronts Wright Street, Forest Road and Hudson Street (shown below in Map 1.1), and is approximately 500 metres from the Hurstville Train Station and town centre precinct. The subject site is in close proximity to other key locations within the Hurstville Centre, namely:

- The Hurstville railway station, 500 metres west
- Westfield Hurstville, 250 metres west (access via The Avenue)
- Hurstville Public School, 350 metres north
- Hurstville Technical High School, 650 metres north-east
- Medium to high density residential is located to the north of the site and along Forest Road.

The Hurstville Major Centre is identified in the Draft Metropolitan Strategy and defined by the Bureau of Transport Statistics (BTS) Journey to Work Centre Summary at a Travel Zone level (refer map 1.2).

The centre forms the study area for this economic assessment. According to the Draft Metropolitan Strategy the NSW Department of Planning and Environment (DP&E) have identified a target of 5,000 new jobs between 2011 and 2031 for the Hurstville Major Centre.

A Plan for Growing Sydney has not yet released new job targets for Hurstville, which will be updated with the release of the Subregional plans.

The existing properties consist of industrial and retail land uses, specifically:

- 108 Forest Road, which contains an auto mechanic
- 112 Forest Road, which contains a metal factory
- 120 Forest Road, which comprises a small retail centre containing a mix of tenants, anchored by a Dick Smith and Bing Lee Electrical.

According to a survey of tenants conducted by Shanghai Lihua Hurstville Pty Ltd the existing properties currently contain 43 ongoing jobs.

1-3 WRIGHT STREET AND 108-112 AND 124 FOREST ROAD

MAP 1.1



HURSTVILLE MAJOR CENTRE

MAP 1.2



1.2 PROPOSED SCHEME

Urbis have been provided with a preliminary development scheme for the redevelopment of 1-3 Wright Street and 108-112 and 124 Forest Road.

The redevelopment will involve the amalgamation of five lots currently controlled by SLA Developments, aggregating to a site area of 5,407 sq.m. The initial concept plan indicates a proposed mixed use development on the site comprising of Building A (14 levels) and Building B (10 levels). The mix of different uses on site is broken down as follows:

TABLE 1.1 – RESIDENTIAL MIX

UNIT MIX	NUMBER
1 Bed	43 (20%)
2 Bed	130 (60%)
3 Bed	44 (20%)
Total	217

Source: SLA Development

About 36% of the residential units outlined in Table 1.1 will be designed for adaptable use appropriate for aged persons and the broader community, and will be marketed to the aged care market. The design of the individual units and common areas will achieve a platinum rating per the guidelines of Liveable Housing Australia.

With 36% of the accommodation designed to allow adaptability to create "accessible housing", the development introduces longevity of purpose. This will offer the potential for a broad cross-section of the community to live in intergenerational settings, within close proximity to a major centre with convenience of transport and shopping.

The provision of accessible housing provides the capacity for its residents to choose to remain in their home when the need for care and support increases.

The proposed development will also contain 1,150 sq.m of retail GFA and public open space consisting of 3,020sq.m.

The proposed non-residential space will be located on the development's ground floor, with pedestrian links from Forest Road, Wright Street and Hudson Street.

2 Employment and Workforce Analysis

Section 2 provides an analysis of existing and future employment within the Hurstville Major Centre and the Hurstville LGA, and the population and employment drivers and outcomes that could foreseeably impact on future employment outcomes for the LGA.

This section will consist of both an analysis of residents and local workers, and will include:

- The size and profile of the study area's resident workforce, in terms of industry sector and occupation
- The size and profile of the study area's employment base, including industry sector and occupation
- Journey to work / place of residence of the local resident workforce and workers employed within the study area
- The gap between the jobs in the study area versus resident workers.

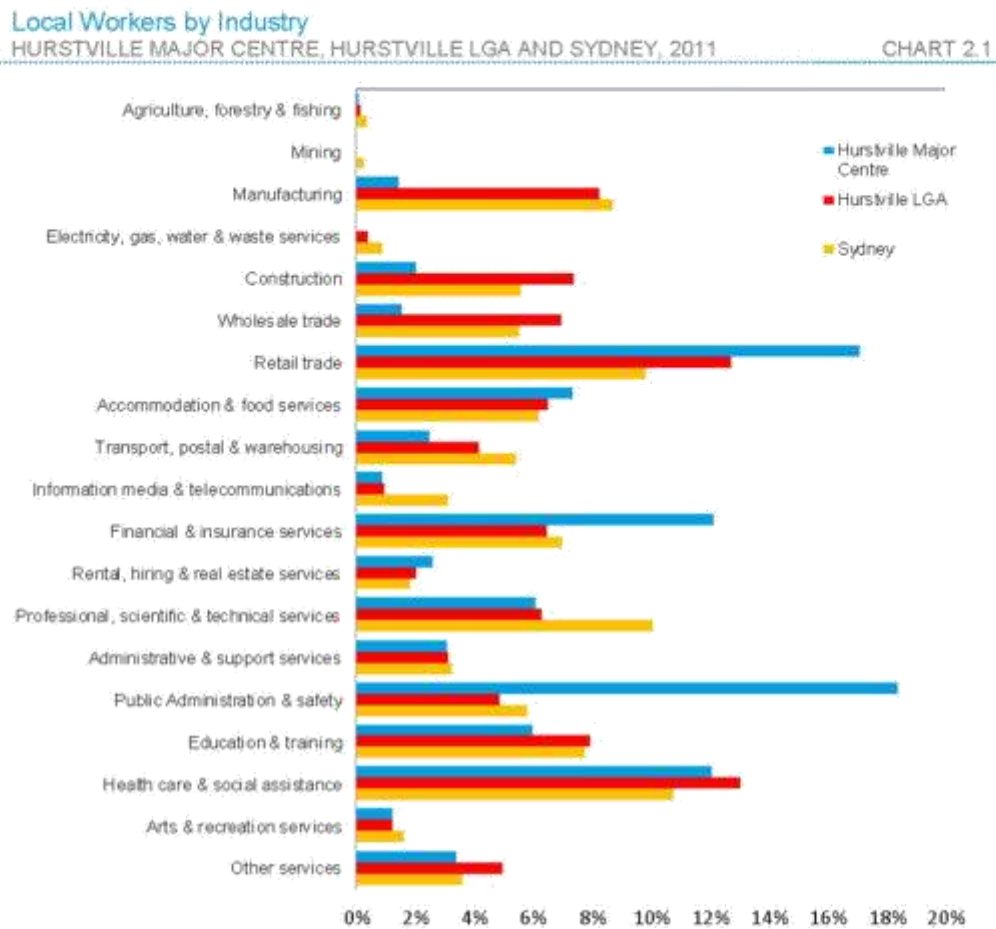
2.1 LOCAL EMPLOYMENT ANALYSIS

The Hurstville Major Centre has a significantly higher proportion of government, retail trade and financial services jobs than the Hurstville LGA and Sydney illustrating the centre's role as the LGA's main employment centre. Major employers include:

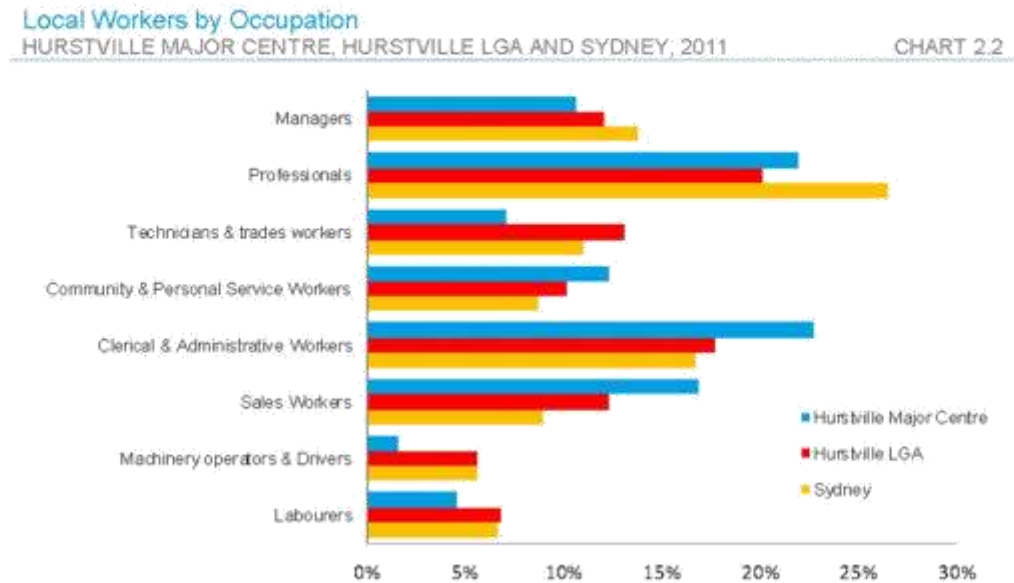
- Public Services (18%)
- Retail Trade (17%)
- Financial Services (12%).

Overall, the centre provides 9,300 jobs, with the full distribution outlined overleaf in Chart 2.1.

This reflects both the presence of a Westfield Regional Centre and the profile of its existing commercial tenants. The smaller representation in Information Media and Telecommunications (1%) and Professional Services (6%) illustrate that while Hurstville is a Major Centre, it is not a major commercial CBD with a diversified business tenant base.



The occupation profile of the Hurstville Major Centre jobs are shown below in Chart 2.2, illustrates a 'para-professional' profile comprised mainly of clerical and administrative and sales workers.

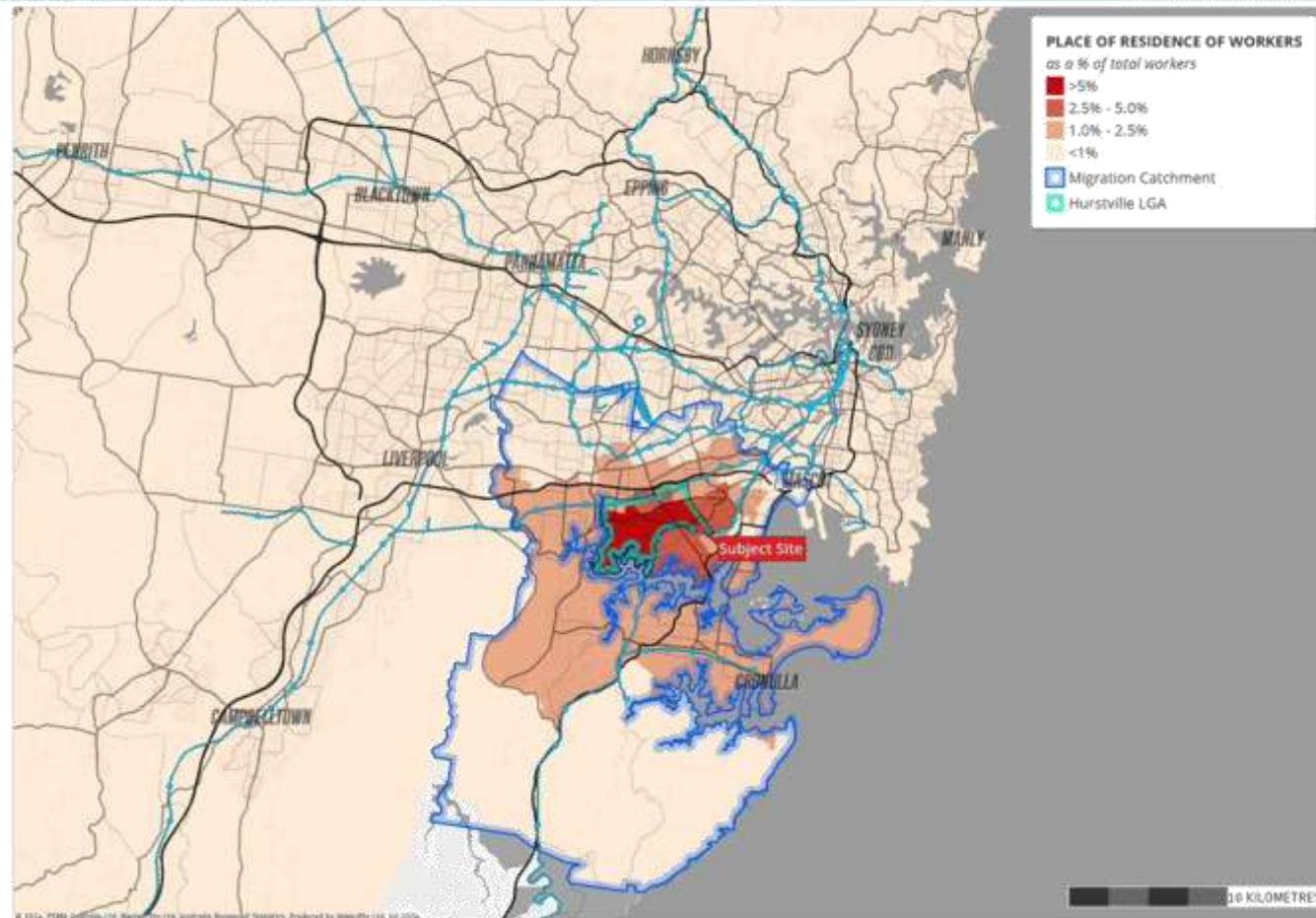


Workers in the Hurstville Major Centre come from a fairly contained catchment area, including:

- Hurstville
- Bankstown
- Sutherland
- Kogarah
- Rockdale.

PLACE OF RESIDENCE, WORKERS

MAP 2.1



2.2 RESIDENT WORKFORCE ANALYSIS

Chart 2.3 represents the 'job demand' by the local workforce, across different industry sectors. According to the Bureau of Transport Statistics Journey to Work data the Hurstville Major Centre has approximately 6,500 employed residents, with their industry of employment outlined in Chart 2.3 below.

The industry distribution illustrates the contrasting industry profile of the Major Centre resident workers compared to the broader Hurstville LGA and Sydney region:

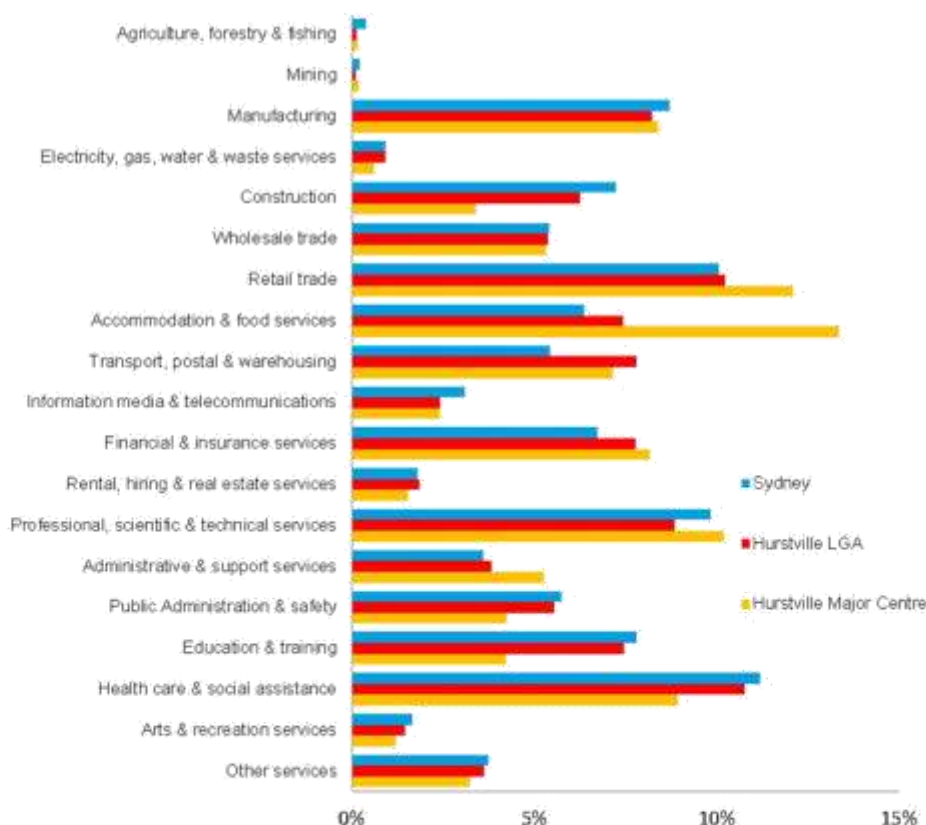
- A much higher proportion of Hurstville Major Centre residents working in Retail Trade (12%) and Accommodation and Food Services (13%)
- A lower proportion of Hurstville Major Centre residents employed in Public Sectors (4%) and Education and Training (4%)
- Compared to the LGA the Hurstville Major Centre has a lower proportion of resident workers employed as managers and a higher proportion of sales workers and labourers.

It is also clear that the Major Centre functions as the main employment node within the Hurstville LGA, containing a greater proportion of jobs, than residents.

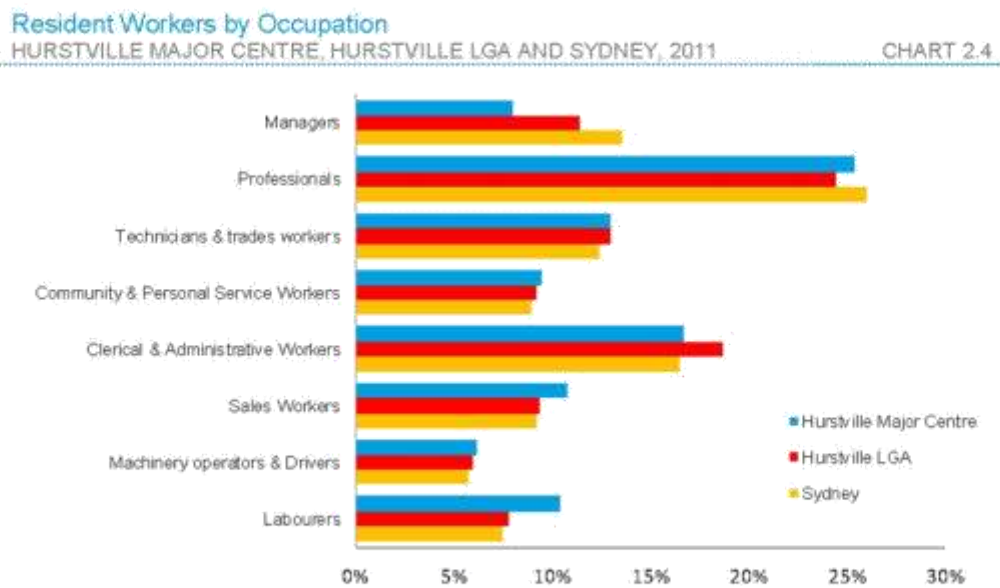
Resident Workers by Industry

HURSTVILLE MAJOR CENTRE, HURSTVILLE LGA AND SYDNEY, 2011

CHART 2.3



Source: Australian Bureau of Statistics, 2011; Urbis



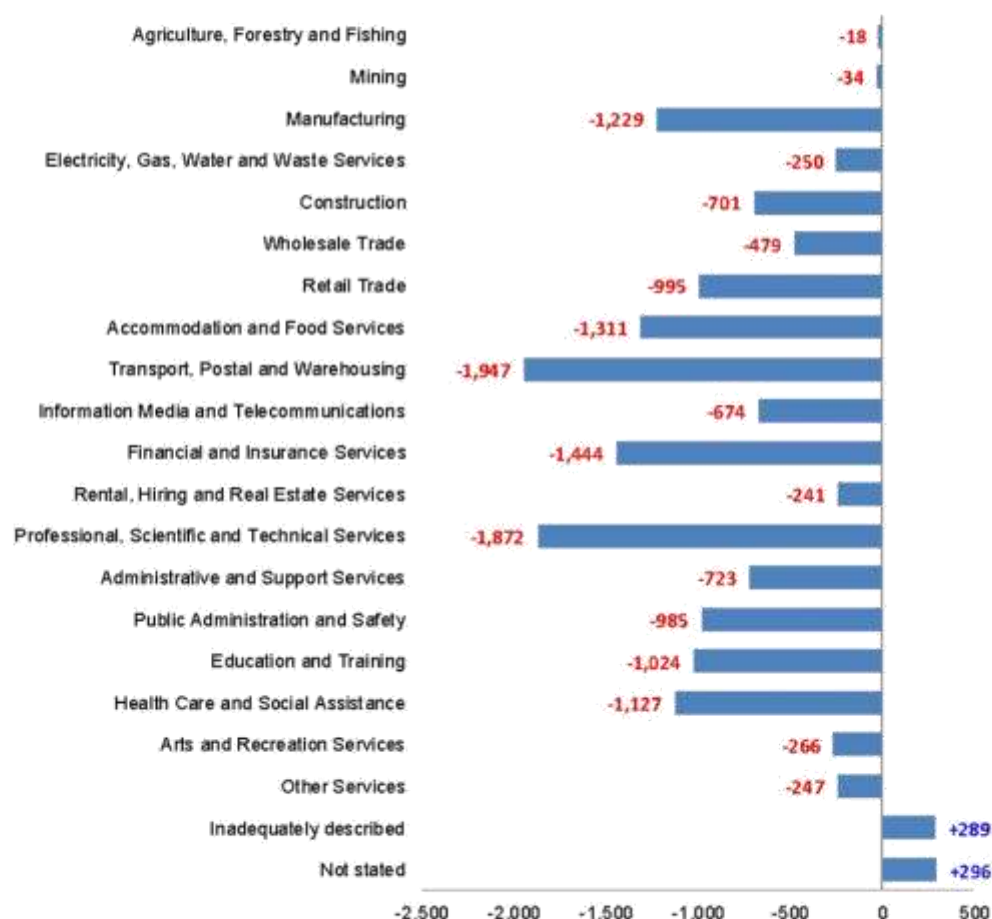
2.3 JOBS GAP ANALYSIS

The Hurstville LGA, despite containing the Hurstville Major Centre, has a larger resident workforce than jobs base. It illustrates that the majority of local workers are employed outside the LGAs boundaries, which is also illustrated in Map 2.5 overleaf, which shows that a large proportion of residents work in:

- Mascot
- Sydney CBD
- Port Botany
- South Sydney Industrial Areas
- North Ryde / Macquarie Park.

Jobs Gap Analysis
HURSTVILLE LGA, 2011

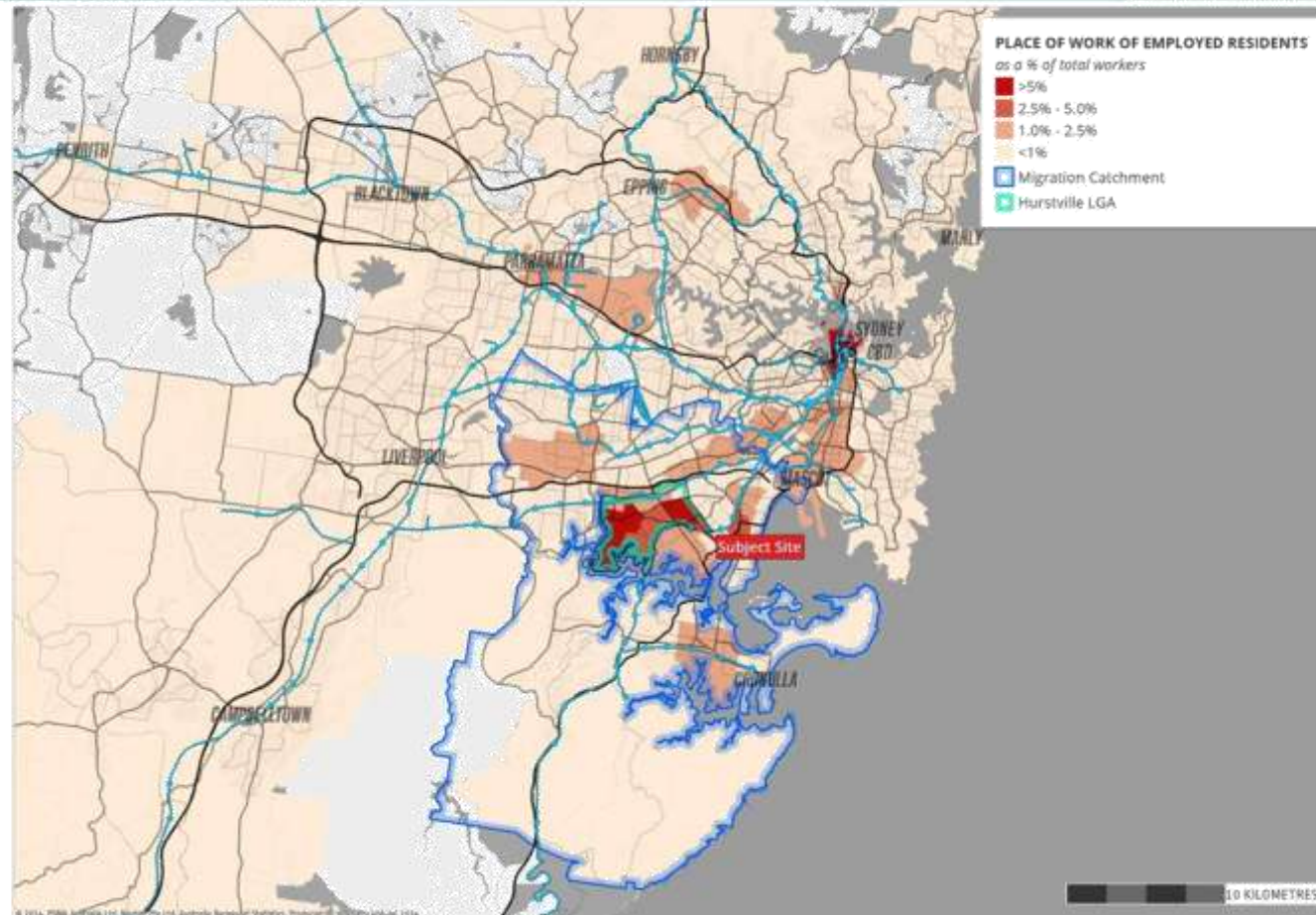
CHART 2.5



Source: Bureau of Transport Statistics, Australian Bureau of Statistics, Census 2011, Urbis

JOURNEY TO WORK, PLACE OF WORK

MAP 2.2



2.4 CONCLUSIONS AND RECOMMENDATIONS

The total number of jobs in the Hurstville Centre exceeds the number of resident workers, illustrating it is the primary employment centre within the Hurstville LGA with over 9,000 jobs.

Jobs in the Hurstville Major Centre are focused in:

- Public Services (18%)
- Retail Trade (17%)
- Financial Services (12%).

The smaller representation of other white collar jobs such as Information Media and Telecommunications (1%), Professional Services (6%) illustrates that the Hurstville Major Centre is not a major commercial CBD with a diversified business tenant base.

The Major Centre accommodates a higher number of workers employed in Retail Trade (12%) and Accommodation and Food Services (13%), reflecting the presence of Westfield Hurstville in the Major Centre.

While the LGA contains the Hurstville Major Centre, 82% of its workforce is employed in other nearby employment centres. Journey to work patterns illustrate this, highlighting the follow centres:

- Mascot
- Sydney CBD
- Port Botany
- South Sydney Industrial Areas
- North Ryde / Macquarie Park.

In each industry sector the number of Hurstville LGA residents employed significantly exceeds the number of jobs located in the LGA itself. The deficit in many of these sectors reflects the Hurstville LGA's proximity to a number of key employment hubs (Sydney CBD, Parramatta, Port Botany, Mascot and South Sydney Industrial Area), which contain a significant amount of jobs that are compatible with the skill profile of the local Hurstville workforce.

This is enabled by the LGAs proximity to these centres and train station, highlighting the high level of amenity available to workers employed in nearby employment centres.

3 Employment and Economic Impacts

Section 3 considers the employment impacts of the development in the context of the targeted jobs growth in the Draft Metropolitan Strategy. Specifically:

- Key growth sectors that will contribute to achieving the Draft Metropolitan Strategy employment targets
- The capacity of the commercial market to accommodate the Draft Metropolitan Strategy target employment growth
- The economic / employment benefits associated with the proposed development.

To identify demand for commercial floorspace it is necessary to consider the nature of future employment within the Hurstville Major Centre (identified by the Department of Planning & Environment), the extent and type of additional floorspace to facilitate additional employment and economic growth, and deliver targeted jobs in the Draft Metropolitan Strategy for Sydney.

Future demand for commercial floorspace in the Hurstville Major Centre can be estimated by applying the Bureau of Transit (BTS) 2012 industry sector job forecasts for the Hurstville Major Centre to the Draft Metropolitan Strategy for Sydney's job target of 5,000 by 2031.

A Plan for Growing Sydney has not yet released new job targets for Hurstville, which will be updated with the release of the Subregional plans.

3.1 OFFICE MARKET

While the Hurstville Centre has been identified as a Major Centre in the Draft Metropolitan Strategy, it is considered a secondary commercial location by the office tenant market. It has a specialised tenant base focused on government and health professional suites and retail specialty tenancies along the high street and associated with the Westfield Shopping Centre.

As of August 2014 there is an estimated 112,300 sq.m. of commercial net lettable area (NLA) throughout the Hurstville Local Government Area (LGA). Since March 2013 there have been marginal additions in commercial floor area, estimated at approximately 2,300 sq.m, located in the following mixed use residential developments:

- 11-17 Woodville Street and 6 Cross Street containing approximately 400 sq.m of commercial GLA
- 11 Mashman Avenue and 7 Colvin Avenue containing approximately 150 sq.m of commercial GLA
- 95 Forest Road and 103 Forest Road containing approximately 1,700 sq.m of commercial GLA.

Commercial tenancies within small to medium size buildings range in size from small serviced offices of 25 sq.m up to full floorplates exceeding 500 sq.m occupied by small, local businesses in the financial, medical services, business consulting and legal industries. There are also several larger office buildings, with tenancies up to 2,500 sq.m (generally over multiple floors). These tenancies are dominated by government agencies.

The commercial space within Hurstville is relatively fragmented and dispersed throughout many small to medium sized buildings. Most new office space forms part of mixed use developments occupying ground and first floor levels within 8 to 10 level buildings.

Based on a desktop analysis of advertised commercial vacancy (or imminently vacant) within the Hurstville LGA, vacancy appears to be very high in the order of 22.7% (including 15,000 sq.m at 20 Woniara Road, vacated in February 2015).

Based on current market conditions and sentiment, demand for office space is not expected to increase notably within the short to medium term.

3.2 JOBS GROWTH

Given the lower tenant take-up amongst traditional office tenants and upcoming government tenant relocation, job creation within the Hurstville Major Centre will likely be drawn from a diversity of industry sectors.

Table 3.1 overleaf illustrates the job targets outlined in the Draft Metropolitan Strategy for the Hurstville Major Centre apportioned across different industry sectors (based on Bureau of Transport employment forecasts). Employment growth is expected to be driven by the following sectors:

- Public Administration and Safety, increasing by +1,260 jobs
- Health Care and Social Assistance, increasing by +863 jobs
- Financial and Insurance Services, increasing by +670 jobs
- Retail Trade, increasing by +581 jobs
- Professionals Scientific and Technical Services, increasing by +573 jobs.

The above jobs targets comprise a diverse range of sectors reflecting a mix of businesses / jobs servicing both local and regional markets.

Employment Growth Targets
HURSTVILLE MAJOR CENTRE

TABLE 3.1

	2011	2016	2021	2026	2031	Growth (2011-2031)	
						Number	%
Agriculture, Forestry and Fishing	6	6	7	7	8	2	27%
Mining	0	1	1	1	1	1	0%
Manufacturing	132	121	106	94	91	-41	-31%
Electricity, Gas, Water and Waste Services	0	-2	-3	-4	-4	-4	0%
Construction	190	221	251	255	266	76	40%
Wholesale Trade	141	157	178	190	203	62	44%
Retail Trade	1,586	1,794	1,968	2,060	2,167	581	37%
Accommodation and Food Services	677	742	817	864	925	248	37%
Transport, Postal and Warehousing	227	224	228	212	203	-24	-11%
Information Media and Telecommunications	83	96	107	113	119	36	44%
Financial and Insurance Services	1,125	1,281	1,533	1,669	1,795	670	60%
Rental, Hiring and Real Estate Services	240	257	276	275	279	39	16%
Professional, Scientific and Technical Services	561	677	862	1,003	1,134	573	102%
Administrative and Support Services	286	369	440	501	569	283	99%
Public Administration and Safety	1,704	2,118	2,472	2,703	2,964	1,260	74%
Education and Training	555	599	699	758	815	260	47%
Health Care and Social Assistance	1,120	1,346	1,624	1,806	1,983	863	77%
Arts and Recreation Services	111	104	105	110	115	4	3%
Other Services	317	323	335	332	332	15	5%
Inadequately Described/Not Stated	212	235	267	287	310	98	46%
Total	9,273	10,668	12,273	13,235	14,273	5,000	54%

Source : Bureau of Transport Statistics; Urbis

3.3 FLOORSPACE DEMAND

Different industry sectors have different needs when it comes to the type of floorspace required to operate their respective businesses. The provision of floorspace compatible with business / tenant demand is an enabler of economic and employment growth.

Table 3.2 below outlines the type of floorspace required to accommodate the jobs growth targeted in the Draft Metropolitan Strategy of 5,000 jobs by 2031.

It illustrates that office-based jobs comprise a high proportion of targeted employment in the Hurstville Major Centre by 2031. The additional office-based jobs estimated to be created in Hurstville over the period 2011 to 2031 would generate demand for an estimated 43,500 sq.m of office space.

Current commercial vacancy (approximately 25,500 sq.m / 22.7% vacancy rate) indicates that there is sufficient supply to accommodate white collar office-based jobs growth until 2026.

Subsequent to this, annualised new supply of only 2,174 sq.m will be required to 2031.

Therefore, the current supply appears ample to accommodate targeted employment growth for the next 12 years subsequent to which only nominal annual additions will be required to support new white collar jobs. There appears to be no apparent immediate shortage of office space within Hurstville.

Given the office market is well supplied within Hurstville, the proposed quantum of non-residential floorspace delivers retail (1,150 sq.m).

TABLE 3.2 – JOBS GROWTH BY LAND USE

LAND USE	JOBS GROWTH (2011 TO 2031)	SQ.M / JOB	FLOORSPACE
Industrial <i>Includes industrial components of 'non-industrial' sectors such as retail, wholesale trade and information technology.</i>	61	150	9,150
Office <i>Includes office components of sectors where majority of employment is accommodated in 'non-office' floorspace, such as education and training, health and arts and recreational services and industrial industries such as construction and urban services.</i>	2,899	15	43,485
Retail <i>Includes retail components of accommodation and food services and wholesale trade.</i>	597	25	14,925
Education <i>Does not include office based education services.</i>	247	25	6,175
Health <i>Does not include office based health services.</i>	777	10	7,770
Other	334	10	3,340
Off-Site	46	-	-
Home	38	-	-
Total	5,000		

Source: Bureau of Transport Statistics 2012; Urbis

3.4 CONCLUSION AND RECOMMENDATIONS

There appears to be sufficient capacity within the Hurstville commercial market to achieve the Draft Metropolitan Strategy employment targets.

- At present there is approximately 112,300 sq.m. of net lettable area (NLA) of commercial floorspace throughout Hurstville Local Government Area (LGA)
- Office based employment is expected to expand by approximately 2,900 jobs between 2011-31
- The targeted office-based jobs are expected to result in demand for approximately 43,500 sq.m of office space
- Based on a desktop analysis of advertised commercial vacancy (or imminently vacant) within the Hurstville LGA, vacancy appears to be high in the order of 22.7% (including 15,000 sq.m at 20 Woniara Road, vacated in February 2015)
- Current vacancy indicates there is sufficient supply to accommodate white collar office- based jobs growth until 2026
- Subsequent to 2026 annualised new supply of only 2,174 sq.m will be required to 2031 – indicating that the Hurstville Major Centre appears to have sufficient commercial office space to accommodate the targeted jobs outlined in the Draft Metropolitan Strategy
- The proposed development's non-residential floorspace delivers additional retail 1,150 sq.m GFA of scale compatible with a well-supplied market, and in a format consistent with other product.

4 Employment Benefits

The proposed redevelopment of 1-3 Wright Street and 108-112 and 124 Forest Road Hurstville will deliver employment benefits during with the construction phase of the development and from ongoing operations. Proposed development scheme includes:

- FSR 4.0:1 (21,628 sq.m)
- Retail (1,150 sq.m)
- Residential (20,478 sq.m)

Assessing the employment benefit of the scheme will mitigate uncertainty of potential employment benefits associated with the development.

4.1 CONSTRUCTION EMPLOYMENT BENEFIT

Table 4.1 overleaf provides estimates of the total employment to be generated during the construction of the compliant and non-compliant development scenario.

The proposed development is expected to yield 195 direct construction jobs and 307 indirect supplier jobs.

In addition to the direct employment generated from the construction, the non-residential floorspace incorporated in the proposed development scheme will result in ongoing jobs once construction of the proposed scheme is finished.

This includes both direct jobs from tenants / businesses occupying the non-residential floorspace in the proposed development. It also includes the growth of indirect jobs generated by an increased demand for materials, services and products from a range of suppliers, as a result of increased consumption generated by the wages of new employees.

In economic terms, it represents the absorption of excess supply in other parts of the economy driven by an increase in aggregate demand in the retail industry.

Indirect employment impacts are measured using employment multipliers derived from the Australian National Accounts Input-Output tables, 1996-97. When using these multipliers, a number of issues need to be kept in mind:

- The multipliers reflect how the economy was structured in 1996-97. Since then, the structure of the economy has changed, and the actual impacts are likely to have changed
- The multipliers are based on a static view of the economy, and do not consider price changes driven by changes in demand. This means that results from Input-Output multiplier analysis are likely to represent the upper bound of employment impacts
- The multipliers are national multipliers, not regional. Therefore, while many of the directly created jobs will be filled by locals, many of the indirect jobs are likely to be filled elsewhere
- While more difficult to measure precisely, there will also be significant positive indirect employment impacts for the region as a whole.

Construction Employment Benefit

COMPLIANT AND NON-COMPLIANT DEVELOPMENT SCENARIO

TABLE 4.1

Development Option/ Type of Employment	Direct Employment	Supplier Employment Multiplier Effects	Total Jobs ²
Construction Phase	195	307	502

1. Total Employment - full-time, part-time and casual

2. Indicates the estimated number of jobs over the life of the construction project plus ongoing multiplier effects.

Jobs are for the equivalent of one year of employment.

3. Indicates the estimated number of ongoing jobs as a result of the proposed expansion (ie the floorspace increase).

Source: Urbis

Overall the jobs associated with the construction phase of the development of the subject site are expected to yield a total of 502 jobs under the proposed development scheme.

4.2 ONGOING EMPLOYMENT BENEFIT

Many of the jobs to be generated from the proposed development will be ongoing positions that are likely to be taken by local residents.

Table 4.2 illustrate the direct and indirect employment benefit associated with the proposed non-residential floorspace.

The proposed development is estimated to provide 63 direct and 50 indirect jobs, which represents an employment uplift of 113 jobs and a net employment uplift of 3 jobs on the existing employment on the site.

The mix of specialty shop tenants in the proposed development are expected to yield a higher employment number than the existing 13 retail jobs, with speciality shops typically yielding 60.7 jobs per 1,000 sq.m of retail floorspace.

Employment Impact

DIRECT AND INDIRECT EMPLOYMENT BENEFIT

TABLE 4.2

	Floorspace (sq.m)	Direct Employment (jobs)	Indirect Employment (jobs)	Total Employment (jobs)
Current Employment				
Retail	1,600	13	10	23
Commercial	1,500	22	47	69
Industrial	N/a	8	10	18
Total Employment (jobs)		43	67	110
Proposed Development (Option 4)				
Retail (@ 60.7 employees per 1,000 sq.m) ¹	1,150	63	50	113
Total Employment (jobs)		63	50	113
Employment Uplift (net of existing employment)		20	-17	3

¹ GLA calculated at 90% of GFA

Source: Urbis

Table 4.2 illustrates that the non-compliant development scenario will provide the highest employment yield from the subject site's redevelopment, compared to the subject site's existing employment and a scheme that complies with existing development controls.

4.3 CONCLUSIONS AND RECOMMENDATIONS

The proposed development at 1-3 Wright Street and 108-112 and 124 Forest Road Hurstville will result in a number of direct and indirect economic benefits, at the construction stage of the development and from ongoing operations uses. These include:

- Construction jobs as a result of the proposed development have been estimated to be 195 direct and 307 indirect supplier jobs
- The direct and indirect sources of employment from ongoing operations associated with the proposed development is expected to be a total of 113 jobs, and represents net employment uplift of 3 jobs to existing employment.

5 Residential Analysis

In addition to considering the employment impacts of redeveloping the subject site, an assessment of the residential market will be conducted. This will consider:

- The geographic market that the redevelopment will draw on
- The profile and demographics of this geographical market and implications for housing demand
- Future population growth which will impact on underlying demand for housing
- The market catchment's housing market compared to the broader Sydney GMR
- Historic development patterns and where the majority of infill development occurs
- The affordability of existing developments and the average unit price to different market segments
- Future supply and demand of housing in the market catchment.

The assessment of the residential market, and underlying supply of demand for housing compared to what is being delivered by the market, concludes that:

- Hurstville is becoming a more attractive residential location for both local residents and overseas migrants
- There is strong underlying demand for infill residential development, compatible with the demographic profile of market catchment residents, and evidenced by strong capital and rental growth, strong sales rates for competing developments and ongoing population growth
- The 'adaptable housing' component of the proposed development residential units align with the catchment's ageing population demand for more specialised housing
- Based on an analysis of income, housing prices and mortgage rates, the median unit price in the market catchment is unaffordable for first home buyers on average incomes, indicating the need for additional housing
- There is market demand to support the absorption of the 217 residential units proposed on the subject site. The proposal will also contribute to moderating house prices in Hurstville by increasing supply.

5.1 RESIDENTIAL DEMAND DRIVERS

We have identified five key drivers of residential housing demand relevant to the development. These key drivers include access to amenities and employment, transport and infrastructure, population growth and competing supply. Table 5.1 provides a brief description of these drivers and implications for the subject site.

Key Demand Drivers

HIGH DENSITY RESIDENTIAL PROJECTS

TABLE 5.1

FACTORS	COMMENTS	IMPLICATIONS FOR THE SUBJECT SITE
1. Access to amenities	Locations that have easy access to shops, parks, entertainment and dining options, medical facilities and schools will be highly demanded as residential locations. These factors remain high on the priority lists of those looking to rent or buy.	<ul style="list-style-type: none"> Strong connection and access to retail services, medical facilities, transport, entertainment & dining and local parks will drive demand for housing on the subject site
2. Access to employment	Residents often prefer to live close to work, enabling them to minimise travel times and improve work life balance.	<ul style="list-style-type: none"> The subject site has easy access to a number of employment hubs including the Hurstville Major Centre, Mascot, Sydney CBD, Port Botany and South Sydney Industrial Areas
3. Transport and Infrastructure	<p>Access to good public transport and road infrastructure are important to potential purchasers and renters, particularly linkages to the CBD, airport and major employment centres.</p> <p>Future infrastructure projects can revitalise areas, improve connectivity and linkages, create new jobs and reshape the existing community.</p>	<ul style="list-style-type: none"> The subject site is located 500 metres from the Hurstville railway station and 500 metres from Allawah railway station Hurstville Train Station provides residents with access to employment centres, and services
4. Population growth and Demographics	Population growth is a key indicator of residential demand.	<ul style="list-style-type: none"> Annual population growth for the catchment area is expected to fluctuate between 1% and 1.3% in the period 2011 to 2031 Looking forward, the catchment area is expected to experience population growth that exceeds what was observed in the 10 years between 2001 and 2011 –

FACTORS	COMMENTS	IMPLICATIONS FOR THE SUBJECT SITE
		<p>increasing demand for housing</p> <ul style="list-style-type: none"> The age profile shows a higher proportion of residents aged over 65 years. This reduces the demand for larger dwelling types as well as the 36% proposed adaptable use units This points to demand for smaller product, located close to key employment / transport nodes, health and retail services.
5. Competing supply	<p>The amount of competing supply, quality and location of other apartment developments in the area can influence demand on the subject site.</p> <p>Further to this, competing residential developments provide an indication of market preferences and existing market take-up.</p>	<ul style="list-style-type: none"> Between 2013 and 2016 the housing deficit in the migration catchment is estimated at approximately 3,400 dwellings and this is expected to increase further in 2016-2021 to a housing deficit of over 7,500 dwellings. These significant shortages could potentially lead to a net migration loss from the market catchment area, as the market seeks housing elsewhere The existing median price point does not appear affordable for first home buyers on average household incomes. The lack of supply relative to demand could exacerbate this further, restricting the access to housing, particularly for first home buyers.

5.2 MARKET CATCHMENT ANALYSIS

The market catchment for a new residential development is essentially the main geographical area from which new residents/potential purchasers are likely to come from.

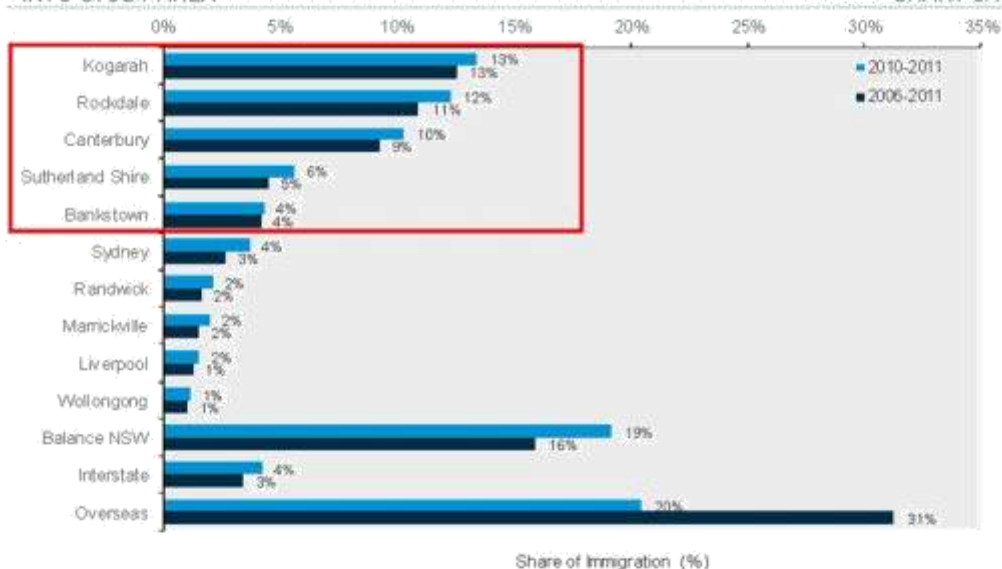
As the subject site is located in the Hurstville Local Government Area (LGA), historic patterns of migration into the LGA have been used to determine the proposed development's market catchment.

Chart 5.1 below illustrates the change in migration patterns into the Hurstville LGA, illustrating that:

- Recent migration patterns (2010-11) are skewed towards a local catchment, rather than an overseas market which comprised a higher proportion of migration between 2006-11
- While overseas migration is likely to continue to comprise a significant market for residential developments, the growing local market is evidenced in historic migration patterns
- The identified local catchment area is focused in the surrounding LGAs of Kogarah, Rockdale, Canterbury, Sutherland Shire and Bankstown.

Migration Analysis INTO STUDY AREA

CHART 5.1



Source: ABS Census 2006 and 2011, URBIS

5.3 DEMOGRAPHIC ANALYSIS

The demographics of an area can indicate the market profile of potential purchasers.

A comparative profile of demographic characteristics has been undertaken to identify specific residential property buyers segments and needs within the market catchment.

Comparing the Hurstville LGA, identified market catchment and the broader Sydney Greater Metropolitan Region (GMR) provides an indication of the type of market that is available within the market catchment relative to the broader Sydney GMR.

Age: Chart 5.2 shows that the Hurstville LGA has a higher proportion of residents aged over 65 years than both the market catchment and the broader Sydney region and a noticeably lower proportion of residents aged 0-19 years. This suggests a stronger presence of retirees within the LGA and market catchment.

The market catchment and LGA also appear to have lower proportions of middle-aged residents, in the 35-49 year age bracket, reflecting its lower workforce participation.

The average age of the market catchment has increased since 2001, from 36.8 to 37.8. While trending upwards, the ageing of the market catchment is below what has been observed across Sydney, with the average age increasing from 35.8 in 2001 to 37.1 in 2011.

Income: Table 5.2 illustrates that both the Hurstville LGA and the market catchment have lower average household incomes than the Sydney GMR, highlighting the need for a relatively affordable dwelling product such as apartments.

The lower average income observed in the market catchment area is driven by its lower proportion of households (21.6%) earning more above \$130,000, than across the broader Sydney GMR (26.4%).

Household Composition: The household profile in Chart 5.4 illustrates that both the Hurstville LGA and market catchment have marginally higher proportion of family households than the broader Sydney GMR.

Furthermore, the market catchment has a lower proportion of lone person households, making up just 21% of households compared to 23% for the Sydney benchmark.

Family Composition: The majority of family households within the market catchment are couples with children aged less than 15, making up 33% of families. This is followed by couples with no children, making up 32% of families.

This composition is generally in line with the broader Sydney GMR, highlighting a need for a dwelling product catering to both couples and younger families.

Housing Structure: Reflecting the underlying need for larger dwellings by family households, separate house dwellings make up 61% of all dwellings in the market catchment.

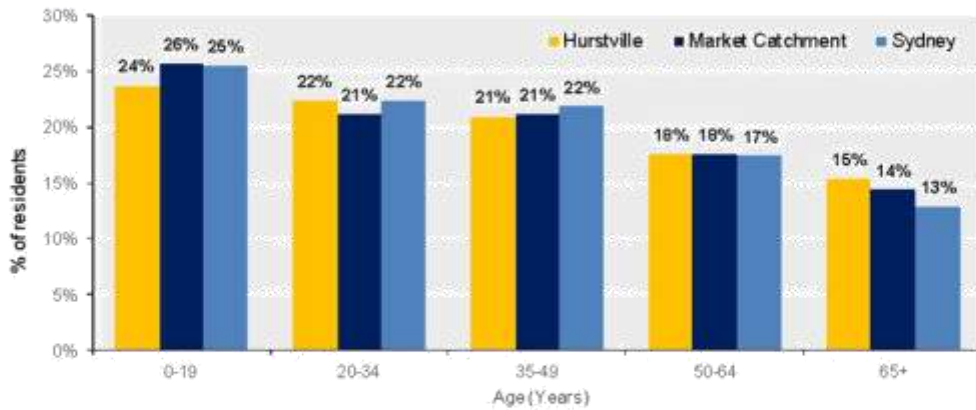
The market catchment also has a marginally higher proportion of apartments than the broader Sydney GMR, making up 26.2% of households compared to 25.8%. This reflects the apartment development that occurred around train stations and town centres.

Employment: Employment participation amongst residents in the market catchment is lower than the broader Sydney GMR, partially influenced by the retiree market. Of those working within the catchment area, 28.9% are in blue collar industries compared to just 25.7% across Sydney. The mix of blue and white collar residents means that journey to work patterns are spread across both CBD (Parramatta, Mascot, Sydney and Macquarie Park) and industrial precincts (South Sydney and Port Botany).

Age Distribution

HURSTVILLE LGA, MARKET CATCHMENT AND SYDNEY

CHART 5.2

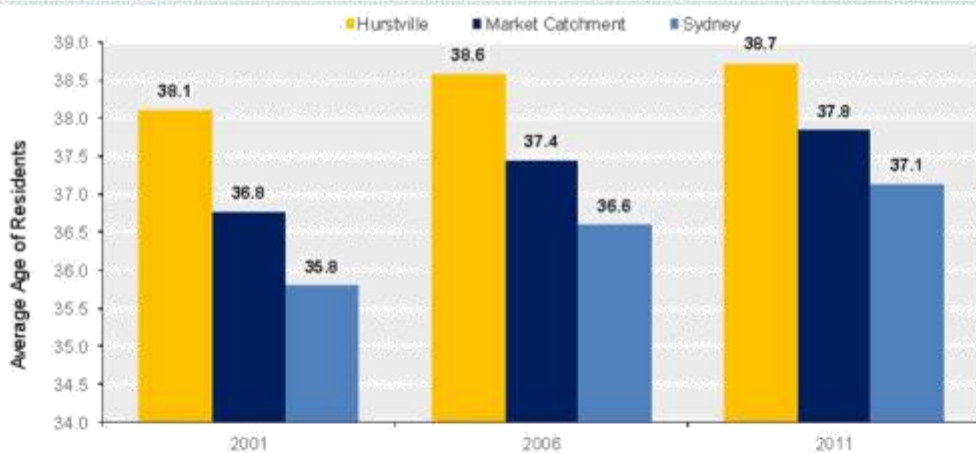


Source: ABS Census 2011, URBIS

Average Age

HURSTVILLE LGA, MARKET CATCHMENT AND SYDNEY

CHART 5.3

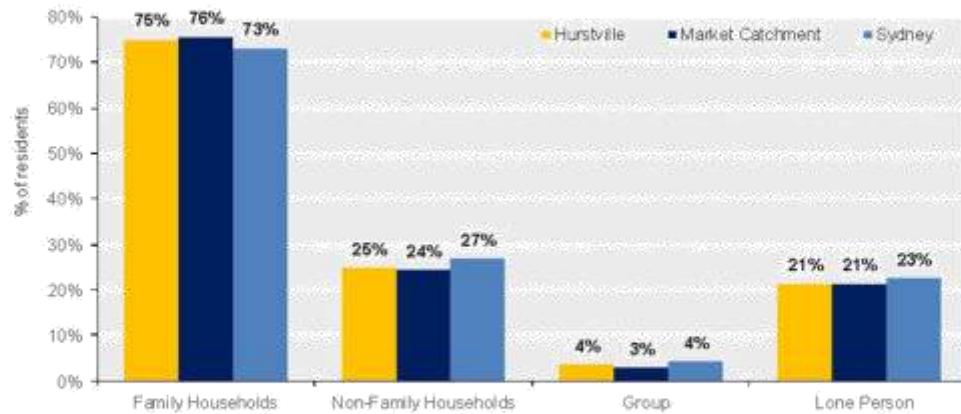


Source: ABS Census, URBIS

Household Profile

HURSTVILLE LGA, MARKET CATCHMENT AND SYDNEY

CHART 5.4

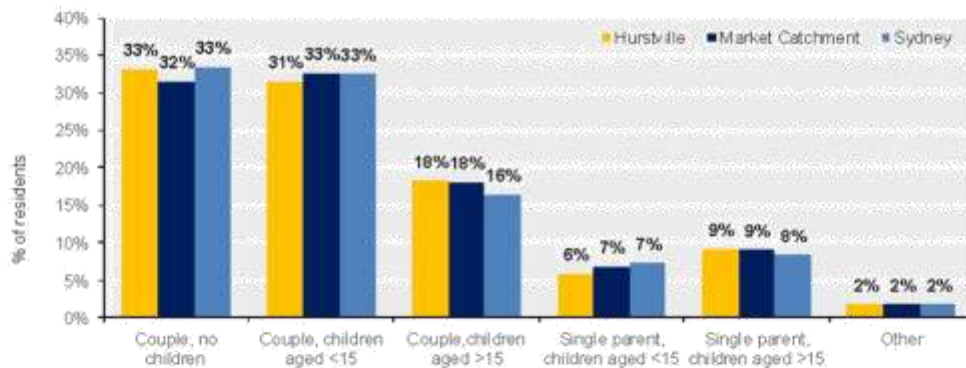


Source: ABS Census 2011, URBIS

Family Profile

HURSTVILLE LGA, MARKET CATCHMENT AND SYDNEY

CHART 5.5



Source: ABS Census 2011, URBIS

Income Profile

HURSTVILLE LGA, MARKET CATCHMENT AND SYDNEY

TABLE 5.2

	Hurstville	Market Catchment	Sydney
\$Neg/Nil	2.2%	1.7%	1.7%
\$1-\$10,400	1.9%	1.8%	1.7%
\$10,400-\$15,600	2.9%	3.0%	2.8%
\$15,600-\$20,800	6.4%	6.5%	5.7%
\$20,800-\$31,200	9.3%	9.7%	8.5%
\$31,200-\$41,600	9.0%	9.1%	8.0%
\$41,600-\$52,000	8.4%	8.4%	7.6%
\$52,000-\$65,000	8.7%	8.6%	8.1%
\$65,000-\$78,000	7.7%	7.7%	7.6%
\$78,000-\$104,000	12.7%	12.5%	12.6%
\$104,000-\$130,000	9.7%	9.5%	9.4%
\$130,000-\$156,000	8.3%	8.6%	10.6%
\$156,000-\$182,000	5.6%	5.8%	6.4%
\$182,000-\$208,000	2.7%	2.8%	3.3%
\$208,000 plus	4.4%	4.4%	6.1%
Average Income	\$85,409	\$85,932	
Household Income Variation	-9.55%	-9.00%	

Source: ABS Census 2011, URBIS

Housing Type

HURSTVILLE LGA, MARKET CATCHMENT AND SYDNEY

TABLE 5.3

	Hurstville	Market Catchment	Sydney
Separate House (%)	59.0%	61.0%	61.0%
Semi-detached (%)	12.2%	12.4%	12.8%
Flat, Unit or apartment (%)	28.3%	26.2%	25.8%
Other dwelling (%)	0.5%	0.5%	0.5%

Source: ABS Census 2011, URBIS

Employment

HURSTVILLE LGA, MARKET CATCHMENT AND SYDNEY

TABLE 5.4

	Hurstville	Market Catchment	Sydney
Employment Rate (%)	44.0%	42.9%	44.8%
Labour Force Participation (%)	62.5%	62.8%	65.8%
Unemployment Rate (%)	6.1%	5.9%	5.7%
White Collar	73.3%	71.1%	74.3%
Blue Collar	26.7%	28.9%	25.7%

Source: ABS Census 2011, URBIS

Journey to Work

HURSTVILLE LGA RESIDENTS

TABLE 5.5

Local Government Area (LGA)	Number	%
Sydney (C)	8,915	24.6%
Hurstville (C)	6,540	18.0%
Kogarah (C)	1,847	5.1%
Sutherland Shire (A)	1,773	4.9%
Botany Bay (C)	1,723	4.7%
Rockdale (C)	1,665	4.6%
Bankstown (C)	1,629	4.5%
Canterbury (C)	1,622	4.5%
No Fixed Address (GMA)	1,378	3.8%
North Sydney (A)	903	2.5%
Balance	8,306	22.9%
Total	36,301	100.0%

Source: ABS Census 2011, URBIS

5.4 POPULATION GROWTH

Population growth provides an indication of the underlying demand for housing in a particular area.

The NSW Department of Planning and Environment (DP&E) is responsible for the development and regular review of the official population projections. These forecasts provide the main source of population analysis undertaken by the NSW Government.

The DP&E released population projections for NSW and each local government area (LGA) for the period 2011 to 2031 in 2014. This forecast uses the estimated resident population from the 2011 Census as a base.

Table 5.6 outlines the population forecast estimated by the Department of Planning for the identified market catchment by LGA:

Population Growth MARKET CATCHMENT AND SYDNEY							
TABLE 5.6							
LGA	Historic			Forecast			
	2001	2006	2011	2016	2021	2026	2031
Hurstville	74,088	76,469	82,800	87,200	93,750	99,600	104,950
Kogarah	52,483	54,910	58,900	62,450	68,850	71,500	76,350
Rockdale	92,876	96,334	103,500	113,400	120,900	127,550	134,350
Canterbury	137,492	135,605	145,100	152,600	161,900	171,750	181,850
Sutherland Shire	213,310	212,531	220,250	229,800	243,200	256,350	267,750
Bankstown	171,994	176,857	190,850	201,500	214,750	228,800	240,800
Catchment Area	742,023	752,706	801,400	846,950	901,350	966,550	1,006,050
Sydney Metro	4,128,300	4,281,988	4,608,950	4,995,750	5,418,950	5,838,750	6,248,750
Growth %	2001-2006			2011-2016			
	2006-2011			2016-2021			
Catchment Area	0.3%	1.3%	1.1%	1.3%	1.2%	1.0%	
Sydney Metro Area	0.7%	1.5%	1.6%	1.6%	1.5%	1.4%	

Source: ABS Census 2011, Department of Planning and Environment, URBIS

The key findings from the historical and forecast population growth include:

- In the period between 2001 and 2011, the population within the catchment area grew by approximately 59,000, or 8% over the ten years
- The Sydney GMR population grew by 11.6% over this period, at an average annual population growth of 1.1%
- This discrepancy is likely due the wider GMR containing urban release areas able to accommodate a substantial uplift in housing and population
- The population of the catchment area is forecast to exceed 1 million residents by 2031, which would see the 2011 population grow by over 200,000 residents or 26% over 20 years
- Annual population growth that is expected to fluctuate between 1% and 1.3% between 2011 and 2031, exceeding what was achieved between 2001 and 2011.

5.5 DWELLING SUPPLY

The following section considers the existing supply of residential dwellings within the market catchment area, including the performance of the housing market, its affordability relative to catchment incomes and competing residential projects.

The future supply of residential dwellings has also been considered compared with the forecast demand for residential housing.

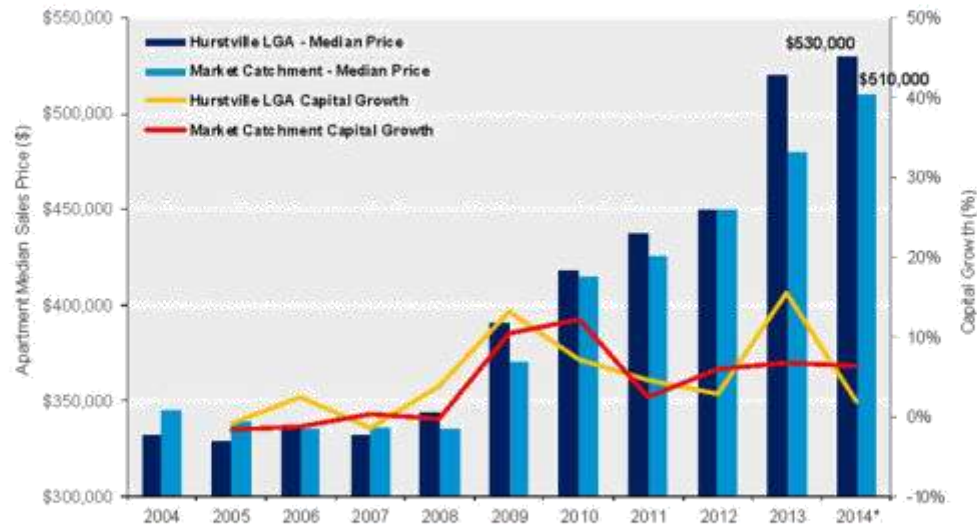
HOUSING MARKET TRENDS

This section will provide an indication of the performance of housing market within the market catchment, reviewing median unit prices, capital growth, transaction volumes and demand for rental accommodation. From this analysis, the following points were observed:

- Since 2008, the median unit price in the Hurstville LGA has been above that of the median unit price across the market catchment, except in 2012 when prices were equal at \$450,000
- As at 2014, the median unit price in the Hurstville LGA was \$530,000 and \$510,000 across the market catchment
- Between 2004 and 2014 the Hurstville LGA experienced greater capital growth than the market catchment, with prices growing by 4.8% per annum compared to 4.0%
- The number of unit transactions in the market catchment has fluctuated significantly between 2004 and 2014, with annual unit transactions ranging from 6,231 transactions in 2005 to 9,611 transactions in 2009
- The sales transaction observed in 2009 illustrate a strong recovery after the GFC, transacting 26% above the average for 2004 to 2014
- The market catchment straddles both the middle and outer ring markets measured by the REINSW for rental vacancy, with vacancy rates of between 1.7% and 2% in April 2014:
 - Vacancy rates for rental properties have increased slightly since January 2014, however still remain at a low rate
 - Typically, vacancy under 3% has traditionally taken to indicate a 'supply constrained' market, usually leading to increasing rental rates over time
 - These vacancies are well below the indicative 3% mentioned previously, suggesting that the rental market within this market catchment is not oversupplied
 - Lower vacancy rates are usually consistently achieved in more urban markets, with stronger locational amenity associated with accessing employment, lifestyle/recreational and transport services.
- The risk associated with a tight rental market is ongoing rental rate appreciation, negatively impacting the affordability of rental stock over time as the rental rate is bid up by strong competition for rental housing
- The low rental vacancy rates witnessed in the market catchment have influenced the steady rental growth over the past ten years despite median rents in all market catchment LGAs sitting below the Greater Sydney average
- Worth noting is the fact that the Hurstville LGA has experienced strong rental growth since December 2013 resulting in the LGA showing the strongest rental growth of any LGAs within the catchment (including the Greater Sydney region) between 2004 and 2014.

Median Price and Capital Growth for Strata Units
HURSTVILLE LGA AND MARKET CATCHMENT LGAS

CHART 5.6



*2014 is a part year

Source: URBIS, RP Data 2016

Unit Transactions
MARKET CATCHMENT

CHART 5.7



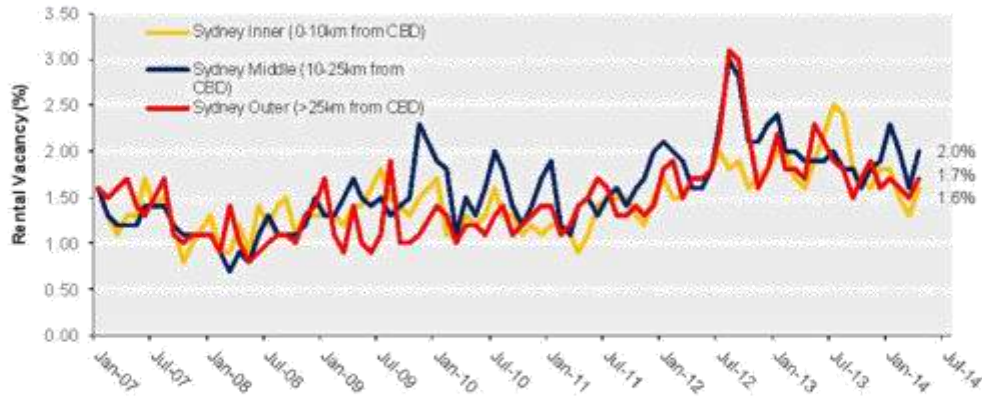
*2014 is a part year

Source: URBIS, RP Data 2016

Rental Vacancy

INNER, MIDDLE AND INNER SYDNEY

CHART 5.8

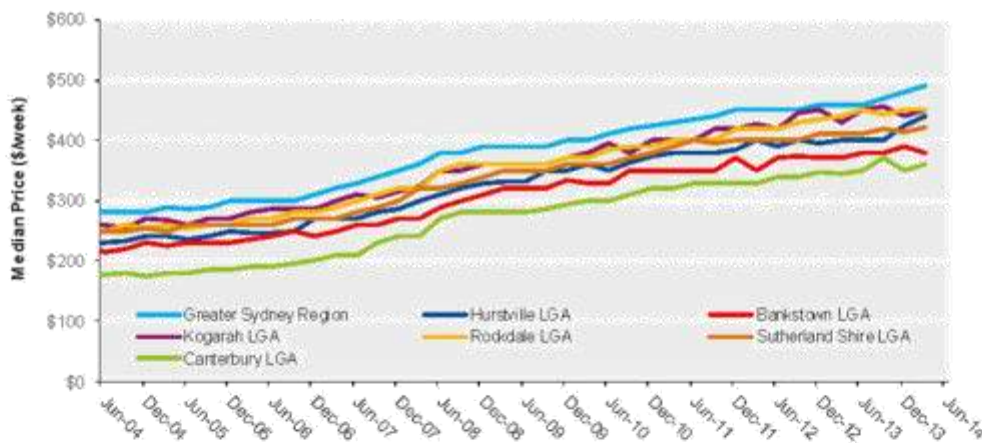


Source: Urbis, ABS/NSW 2014

Median Rents – 1 and 2 Bed Units

MARKET CATCHMENT LGAS – JUNE 2004 TO MARCH 2014

CHART 5.9



Source: Urbis, NSW Housing 2014

HISTORIC DWELLING APPROVALS

The historic new dwelling approvals (NDAs) data for both the market catchment and the Hurstville LGA reflect the urban character and locational attributes of the two areas.

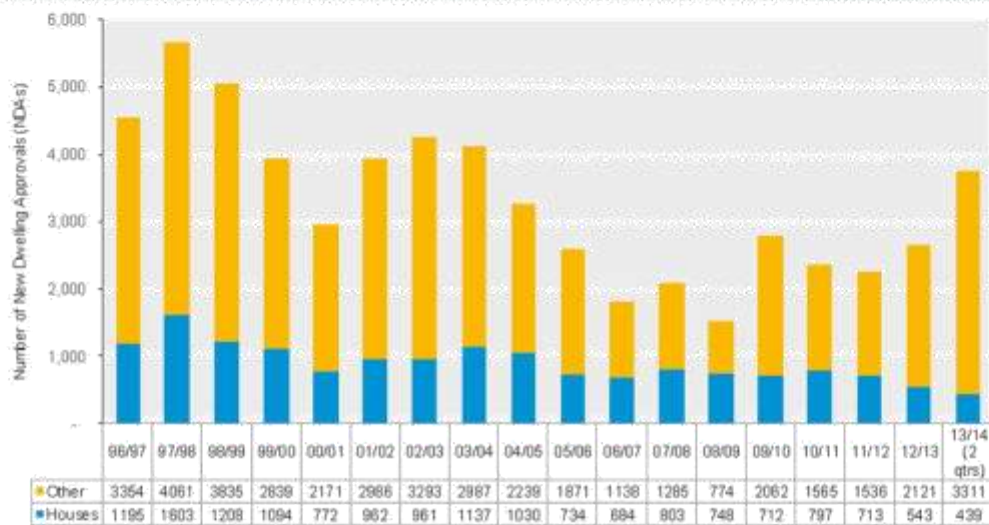
The type of NDAs within the Hurstville LGA are reflective of the NDAs within the wider catchment area. The dwelling approvals within the catchment area and the Hurstville LGA between 1996/96 and 2013/14 comprised of 27% houses and 73% other dwellings (including semi-detached, row or terrace houses, townhouses and flats units or apartments).

This reflects the trend towards higher density dwelling developments, particularly within close proximity to the CBD and with high accessibility to transport infrastructure.

New Development Approvals (NDAs)

MARKET CATCHMENT, 1996/97 TO 2013/14

CHART 5.10

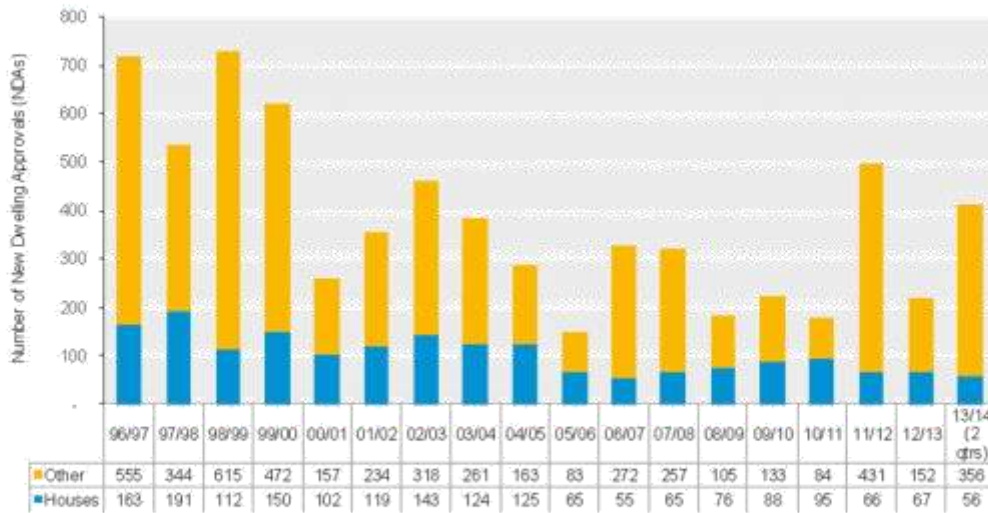


Source: URBIS, ABS Census 2011

New Development Approvals (NDAs)

HURSTVILLE LGA, 1996/97 TO 2013/14

CHART 5.11

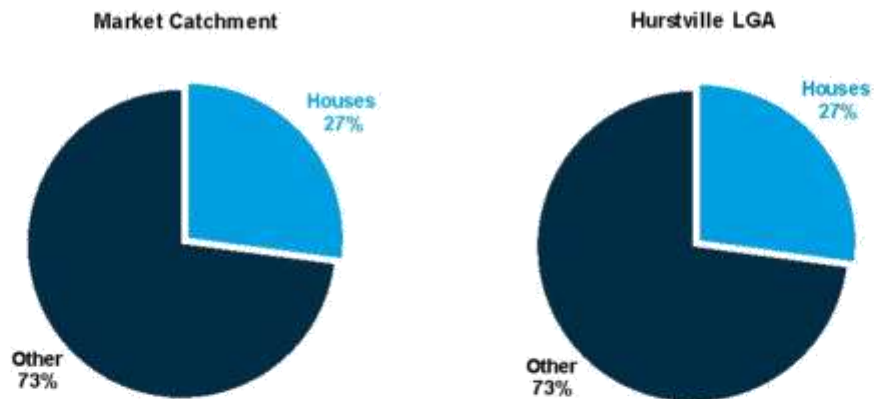


Source: URBIS, ABS Census 2011

Housing Approval Comparison

TOTAL NDA'S 1996/97 TO 2013/14

CHART 5.12



Source: URBIS, ABS Census 2011

FUTURE DEVELOPMENT PROJECTS

Tables 5.7 to 5.9 display the proposed developments with 100 units or more that are expected to occur within the LGAs that make up the market catchment between 2014 and 2020.

Within this period, approximately 11,600 units are expected to be developed within the market catchment area, in developments of 100 units or more.

The tables show that the greatest number of proposed units in large-scale developments is expected to occur within the Rockdale LGA, with approximately 3,700 units proposed.

Within the Hurstville LGA, in which the subject site is located, it is anticipated that approximately 2,000 units will be developed.

Proposed Developments

MARKET CATCHMENT, 100+ UNIT YIELD

TABLE 5.7

Development Name	Project Address	Suburb	Yield	Estimated Completion	Status
Hurstville LGA					
Forest Road Mixed Development	105 Forest Road & 1A Hill Street	Hurstville	116	2015	Contract Let
Highpoint Apartments	458-460 Forest Road & 1B Pearl Street	Hurstville	437	2016	Contract Let
Royal Plaza Apartments	18-22 Woodville Street & 2-2A Barratt Street	Hurstville	103	2016	Building Approval
East Quarter Hurstville	93 Forest Road	Hurstville	402	2016	Sketch Plans
Treacy Street Mixed Development	1-5 Treacy Street	Hurstville	72	2017	Development Approval
The Crescent Residential Development	2 & 3 The Crescent	Kingsgrove	475	2017	Rezoning Application
Treacy Street Mixed Development	21-35 Treacy Street	Hurstville	328	2018	Contract Let
Total			1,933		
Rockdale LGA					
DiscoveryPoint Precinct - Linc	1 Princes Highway	Woolli Creek	130	2014	Construction
Cobblers Hill Apartments	45 Bonar Street	Arncliffe	225	2014	Contract Let
Top Garden Units	52-62 Arncliffe Street	Woolli Creek	162	2015	Contract Let
Southbank Apartments	20 Levey Street & 34-36 Marsh Street	Woolli Creek	316	2015	Construction
Guess Avenue Apartments	30-32 Guess Avenue & 4 Lusty Street	Woolli Creek	176	2015	Contract Let
DiscoveryPoint Precinct - Summit	1 Princes Highway	Woolli Creek	200	2015	Construction
Genesis Apartments	27-29 Cook Street & 120 Turrella Street	Turrella	262	2016	Contract Let
DiscoveryPoint Precinct - Shore	1 Princes Highway	Woolli Creek	323	2016	Tenders For Design Construct
Orchard Park Apartments	1-5 Gertrude Street & 10-16 Princes Highway	Woolli Creek	146	2017	Development Application
DiscoveryPoint	2 Bryant Street & 1 Princes Highway	Woolli Creek	261	2017	Development Application
Gertrude Street and Princes Highway Development	4-10 Gertrude Street & 4-6 Princes Highway	Woolli Creek	189	2017	Development Application
Arncliffe Street Apartments	40-50 Arncliffe Street	Woolli Creek	175	2017	Development Application
Princes Highway Mixed Development Site	213 Princes Highway & 4 Wardell Street	Arncliffe	345	2017	Development Application
Chapel and Bay Streets Development	Chapel Street, Bay Street & Lister Avenue	Rockdale	357	2019	Early Planning
Darrell Lee Factory Site	152-206 Rocky Point Road	Kogarah	445	2020	Rezoning Application
Total			3,732		

Proposed Developments (Continued)

MARKET CATCHMENT, 100+ UNIT YIELD

TABLE 5.8

Development Name	Project Address	Suburb	Yield	Estimated Completion	Status
Canterbury LGA					
Washington Park (Riverwood North)	Washington Avenue, Kentucky Road & Vermont Crescent	Canterbury	150	2013	Construction
The Broadway (Broadway Plaza)	1-9 Broadway	Punchbowl	152	2014	Contract Let
Vantage Mixed Development	359-385 Beamish Street & 33-35 Unara Street	Campsie	102	2014	Construction
Paradise Apartments	Part 60 Charlotte Street	Campsie	290	2015	Contract Let
Washington Park (Riverwood North)	3-11 Washington Avenue & Lots 458 & 459 Kentucky Road	Riverwood	197	2015	Construction
Robert and Charles Streets Units	1, 1A, 2 & 3 Charles Street & 12 Robert Street	Canterbury	108	2015	Development Approval
Roselands Garden	810 Canterbury Road	Roselands	117	2016	Development Approval
Village Green Apartments (Clemton Park)	60 Charlotte Street	Campsie	290	2016	Development Application
Washington Park (Riverwood North)	4 Vermont Crescent & 60 Kentucky Road	Riverwood	192	2016	Construction
Habitat Apartments	308-320 Canterbury Road & 6-8 Canton Street	Canterbury	134	2016	Development Approval
Croydon Street Affordable Housing	5-9 Croydon Street	Lakemba	126	2016	Development Approval
Canterbury Road Mixed Development	717-727 Canterbury Road	Belmore	224	2016	Development Application
Charles Street Units	15-15A & 18 Charles Street	Canterbury	308	2017	Development Approval
Canterbury Road Mixed Development	548-568 Canterbury Road	Campsie	290	2017	Development Application
Charles Street Mixed Development	2A Charles Street	Canterbury	202	2017	Development Approval
Wiley Park Town Centre Redevelopment	280-300 Lakemba Street & 68-70 King Georges Road	Wiley Park	125	2017	Development Approval
Sugar Mill Precinct	242, 246-258 Canterbury Road & 1-13 Close Street	Canterbury	397	2017	Development Approval
Lakeview (Washington Park)	2 Vermont Crescent & 72-76 Kentucky Road	Riverwood	177	2019	Development Application
Lakemba and Haldon Streets Mixed Development	174-176 Lakemba Street & 2-26 Haldon Street	Lakemba	107	2019	Development Application
Total			3,688		
Bankstown LGA					
George Street and Hume Highway Development	350 Hume Highway, Bankstown & 18-24 George Street	Yagoona	182	2016	Development Approval
West Terrace Mixed Development	8A-14 West Terrace	Bankstown	127	2017	Sketch Plans
Boronia Road Affordable Housing	81-95 Boronia Road	Greenacre	144	2017	Development Application Refused
Phoenix Palm Apartments	351 Hume Highway	Bankstown	100	2017	Development Approval
Stacey Street Mixed Development	196 Stacey Street	Bankstown	156	2017	Development Application
Villawood Development - Overall	80 Miller Road	Villawood	181	2018	Early Planning
Bass Hill Tourist Park	713-727 Hume Highway	Bass Hill	150	2019	Development Application
Total			1,040		

Proposed Developments (Continued)
 MARKET CATCHMENT, 100+ UNIT YIELD

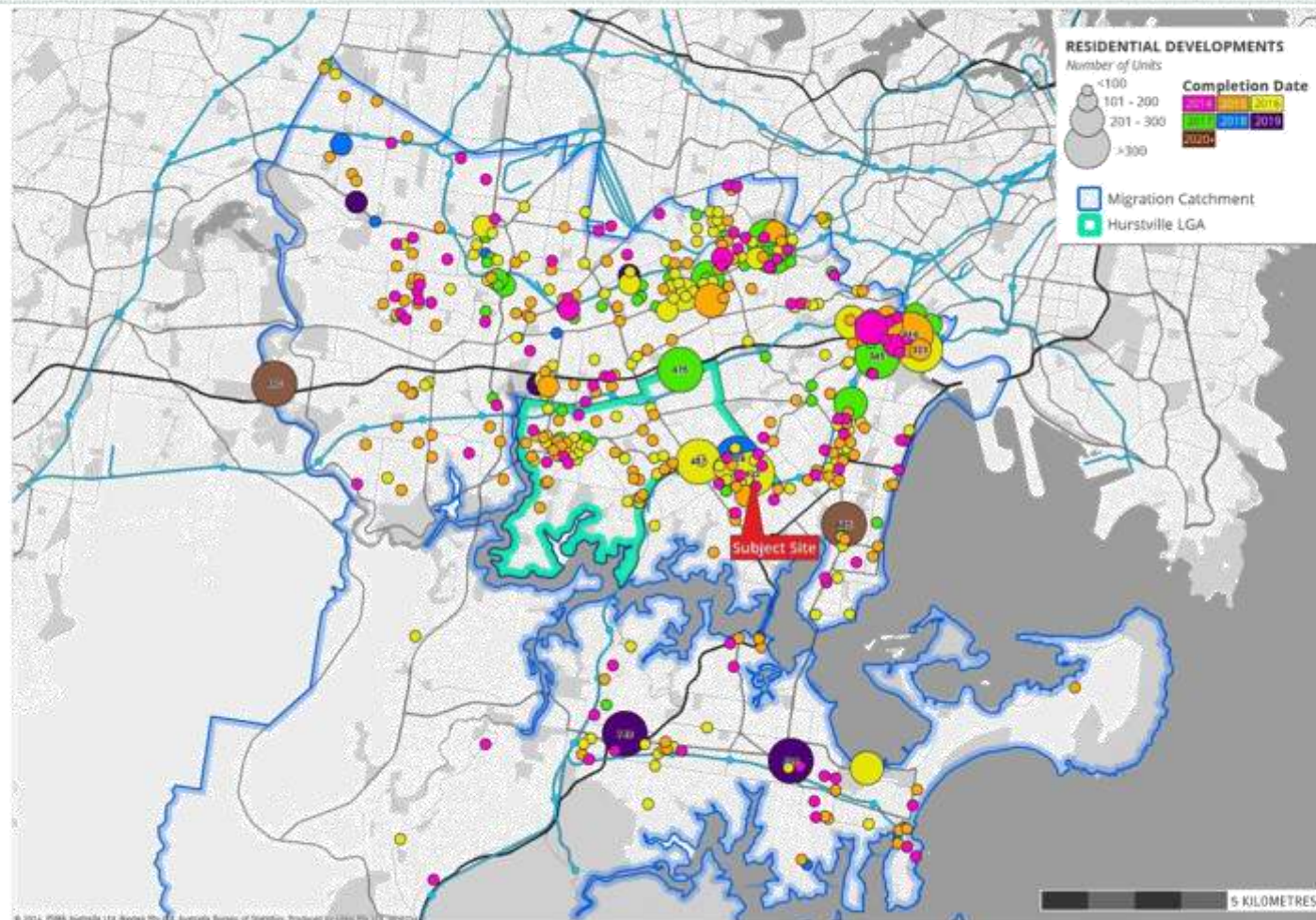
TABLE 5.9

Development Name	Project Address	Suburb	Yield	Estimated Completion	Status
Sutherland LGA					
Esplanade, Pavilion and Sea Units (Woolaware Bay)	481 Captain Cook Drive	Woolooware	220	2016	Development Approval
Landing and Cove Units (Woolaware Bay)	481 Captain Cook Drive	Woolooware	178	2017	Development Application
Kimaree Village - Overall Concept Plan	568-594 Princes Highway, Oak Road & Flora Street	Kimaree	749	2019	Early Planning
Total			1,147		
Total All Proposed Developments			11,590		

Source: URBIS, Cordell Concept

FUTURE DEVELOPMENT PROJECTS

MAP 5.1



AFFORDABILITY ANALYSIS

Housing affordability refers to a household's capacity to purchase housing, commonly measured by the proportion of a household's income spent on dwelling costs. The standard benchmark for whether housing is unaffordable is when repayments constitute 30% or more of a household's income.

If a household spend 30% or more of their household income on mortgage repayments or rental payments they are considered at risk of housing stress.

This section conducts an assessment of the price points at which first home buyers (FHB) and established home buyers can afford to purchase housing, on both average and upper quartile incomes in the market catchment area.

Average household income for the catchment area is currently estimated to be \$93,700 with 25% of households estimated to have incomes above \$113,400 per annum.

Applying the 30% benchmark shows that average income households can afford housing costs of \$2,342 per month, while the top 25% of households can afford a monthly housing cost of \$2,835.

To identify the affordable housing price for the market catchment, the repayments required for a range of price points were calculated and shown overleaf in Table 5.11 and 5.12.

The following assumptions underpin our affordability calculations:

- A 20% deposit for FHBs and 50% for established home owners
- Two mortgage rates, the current rate 5.25% and 10 year average of 7.25% (Reserve Bank of Australia: F5 Indicator Lending Rates)
- 30 year mortgage term.

Table 5.10 and 5.11 show that a FHB household with an average income can afford units priced at \$500,000 at the current mortgage rate of 5.25%, falling to \$400,000 if the mortgage rate corrects to its 10 year average of 7.25%.

While the top 25% of FHB households can afford a higher price point of \$600,000 at a mortgage rate of 5.25% and \$500,000 at a mortgage rate of 7.25%.

The affordable unit price changes considerably for established home owners, due to the assumed 50% deposit (reducing the loan size). Households on average income can afford between \$650,000 and \$800,000, while high income households can afford housing priced between \$800,000 and \$1,000,000. These results are summarised below in Table 5.10.

TABLE 5.10 – HOUSING AFFORDABILITY - PRICE

MARKET	AVERAGE HH INCOME	UPPER QUARTILE HH INCOME
First Home Buyer	\$400,000 - \$500,000	\$500,000 - \$600,000
Established Home Owners	\$650,000 - \$800,000	\$800,000 - \$1,000,000

Source: Urbis

The current median price for apartments within the market catchment is \$510,000 (as outlined previously), which is above the affordable range for FHBs with average household incomes. This has the potential to lead to a net outmigration amongst these household groups to more affordable markets or restrict them to the rental market.

A number of projects currently on the market outlined previously show the sale prices or asking prices. This analysis illustrates that FHBs are predominantly only able to afford studios and 1 bed apartments within these projects with asking prices often at the upper end of their affordable range.

Established home owners on the other hand appear to be able to afford most product types illustrating the impact of reducing the size of mortgages on repayments and overall affordability.

First Home Buyers – Affordability MARKET CATCHMENT

TABLE 5.11

Mortgage Rate %	Unit Price \$											
	\$250,000	\$300,000	\$350,000	\$400,000	\$450,000	\$500,000	\$550,000	\$600,000	\$650,000	\$700,000	\$750,000	\$800,000
5.00%	-\$1,074	-\$1,288	-\$1,503	-\$1,718	-\$1,933	-\$2,147	-\$2,362	-\$2,577	-\$2,791	-\$3,006	-\$3,221	-\$3,436
5.25%	-\$1,104	-\$1,325	-\$1,546	-\$1,767	-\$1,988	-\$2,209	-\$2,430	-\$2,651	-\$2,871	-\$3,092	-\$3,313	-\$3,534
5.50%	-\$1,136	-\$1,363	-\$1,590	-\$1,817	-\$2,044	-\$2,271	-\$2,498	-\$2,725	-\$2,953	-\$3,180	-\$3,407	-\$3,634
5.75%	-\$1,167	-\$1,401	-\$1,634	-\$1,867	-\$2,101	-\$2,334	-\$2,568	-\$2,801	-\$3,035	-\$3,268	-\$3,501	-\$3,735
6.00%	-\$1,199	-\$1,439	-\$1,679	-\$1,919	-\$2,158	-\$2,398	-\$2,638	-\$2,878	-\$3,118	-\$3,357	-\$3,597	-\$3,837
6.25% ¹	-\$1,231	-\$1,478	-\$1,724	-\$1,970	-\$2,217	-\$2,463	-\$2,709	-\$2,955	-\$3,202	-\$3,448	-\$3,694	-\$3,941
6.50%	-\$1,264	-\$1,517	-\$1,770	-\$2,023	-\$2,275	-\$2,528	-\$2,781	-\$3,034	-\$3,287	-\$3,540	-\$3,793	-\$4,046
6.75%	-\$1,297	-\$1,557	-\$1,816	-\$2,076	-\$2,335	-\$2,594	-\$2,854	-\$3,113	-\$3,373	-\$3,632	-\$3,892	-\$4,151
7.00%	-\$1,331	-\$1,597	-\$1,863	-\$2,129	-\$2,395	-\$2,661	-\$2,927	-\$3,193	-\$3,460	-\$3,726	-\$3,992	-\$4,258
7.25% ²	-\$1,364	-\$1,637	-\$1,910	-\$2,183	-\$2,466	-\$2,739	-\$3,002	-\$3,274	-\$3,547	-\$3,820	-\$4,093	-\$4,366
7.50%	-\$1,398	-\$1,678	-\$1,958	-\$2,237	-\$2,517	-\$2,797	-\$3,077	-\$3,356	-\$3,636	-\$3,916	-\$4,195	-\$4,475
7.75%	-\$1,433	-\$1,719	-\$2,006	-\$2,299	-\$2,579	-\$2,866	-\$3,152	-\$3,439	-\$3,725	-\$4,012	-\$4,299	-\$4,585
8.00%	-\$1,468	-\$1,761	-\$2,055	-\$2,348	-\$2,624	-\$2,905	-\$3,229	-\$3,522	-\$3,816	-\$4,109	-\$4,403	-\$4,696
8.25%	-\$1,503	-\$1,803	-\$2,104	-\$2,404	-\$2,705	-\$3,005	-\$3,306	-\$3,606	-\$3,907	-\$4,207	-\$4,508	-\$4,809
8.50%	-\$1,538	-\$1,845	-\$2,153	-\$2,461	-\$2,768	-\$3,076	-\$3,383	-\$3,691	-\$3,998	-\$4,306	-\$4,613	-\$4,921
8.75%	-\$1,573	-\$1,888	-\$2,203	-\$2,517	-\$2,832	-\$3,147	-\$3,461	-\$3,776	-\$4,091	-\$4,406	-\$4,720	-\$5,035
9.00%	-\$1,609	-\$1,931	-\$2,253	-\$2,575	-\$2,897	-\$3,218	-\$3,540	-\$3,862	-\$4,184	-\$4,506	-\$4,828	-\$5,150
9.25%	-\$1,645	-\$1,974	-\$2,303	-\$2,633	-\$2,962	-\$3,291	-\$3,620	-\$3,949	-\$4,278	-\$4,607	-\$4,936	-\$5,265
9.50%	-\$1,682	-\$2,018	-\$2,354	-\$2,691	-\$3,027	-\$3,363	-\$3,700	-\$4,036	-\$4,372	-\$4,709	-\$5,045	-\$5,381
9.75%	-\$1,718	-\$2,062	-\$2,406	-\$2,749	-\$3,089	-\$3,437	-\$3,786	-\$4,124	-\$4,468	-\$4,811	-\$5,155	-\$5,499
10.00%	-\$1,755	-\$2,106	-\$2,457	-\$2,808	-\$3,159	-\$3,510	-\$3,861	-\$4,212	-\$4,563	-\$4,914	-\$5,265	-\$5,616

Catchment Av. HH Income: \$93,700 Catchment Upper Quartile Income: \$113,400
Total Catchment Households: 288,662 Catchment Households in Upper Quartile: 89,719

Note: Blue indicates that this house price and interest rate level push 'average' households into mortgage stress (i.e. mortgage repayments > 30% of household income).
Orange numbers indicate that this house price and interest rate push upper income quartile households into mortgage stress. Average household incomes are taken from the 2011 census and adjusted to account for income growth to March 2014.

1 Standard Variable Rate as at June 2014
2 Long-term standard variable average since June 2004
Source: Urbis; RBA F5 Indicator Lending Rates; ABS Census, 2011

Established Buyers – Affordability MARKET CATCHMENT

TABLE 5.12

	Unit Price \$													
	\$500,000	\$550,000	\$600,000	\$650,000	\$700,000	\$750,000	\$800,000	\$850,000	\$900,000	\$950,000	\$1,000,000	\$1,050,000	\$1,100,000	
5.00%	-\$1,342	-\$1,476	-\$1,610	-\$1,745	-\$1,879	-\$2,013	-\$2,147	-\$2,281	-\$2,416	-\$2,550	-\$2,684	-\$2,818	-\$2,953	
5.25% ¹	-\$1,381	-\$1,519	-\$1,657	-\$1,795	-\$1,933	-\$2,071	-\$2,209	-\$2,347	-\$2,485	-\$2,623	-\$2,761	-\$2,899	-\$3,037	
5.50%	-\$1,419	-\$1,561	-\$1,703	-\$1,845	-\$1,987	-\$2,129	-\$2,271	-\$2,413	-\$2,555	-\$2,697	-\$2,839	-\$2,981	-\$3,123	
5.75%	-\$1,459	-\$1,605	-\$1,751	-\$1,897	-\$2,043	-\$2,189	-\$2,334	-\$2,480	-\$2,626	-\$2,772	-\$2,918	-\$3,064	-\$3,210	
6.00%	-\$1,499	-\$1,649	-\$1,799	-\$1,949	-\$2,099	-\$2,249	-\$2,399	-\$2,549	-\$2,699	-\$2,849	-\$2,999	-\$3,149	-\$3,299	
6.25%	-\$1,539	-\$1,693	-\$1,847	-\$2,001	-\$2,155	-\$2,309	-\$2,463	-\$2,617	-\$2,771	-\$2,925	-\$3,079	-\$3,233	-\$3,387	
6.50%	-\$1,580	-\$1,738	-\$1,896	-\$2,054	-\$2,212	-\$2,370	-\$2,528	-\$2,686	-\$2,844	-\$3,002	-\$3,160	-\$3,318	-\$3,476	
6.75%	-\$1,621	-\$1,784	-\$1,946	-\$2,108	-\$2,270	-\$2,432	-\$2,594	-\$2,757	-\$2,919	-\$3,081	-\$3,243	-\$3,405	-\$3,567	
7.00%	-\$1,663	-\$1,830	-\$1,996	-\$2,162	-\$2,329	-\$2,495	-\$2,661	-\$2,828	-\$2,994	-\$3,160	-\$3,327	-\$3,493	-\$3,659	
7.25% ¹	-\$1,705	-\$1,878	-\$2,047	-\$2,217	-\$2,388	-\$2,559	-\$2,729	-\$2,899	-\$3,070	-\$3,240	-\$3,411	-\$3,581	-\$3,752	
7.50%	-\$1,748	-\$1,923	-\$2,098	-\$2,272	-\$2,447	-\$2,622	-\$2,797	-\$2,972	-\$3,146	-\$3,321	-\$3,496	-\$3,671	-\$3,846	
7.75%	-\$1,791	-\$1,970	-\$2,149	-\$2,328	-\$2,507	-\$2,687	-\$2,866	-\$3,045	-\$3,224	-\$3,403	-\$3,582	-\$3,761	-\$3,940	
8.00%	-\$1,834	-\$2,018	-\$2,201	-\$2,385	-\$2,568	-\$2,752	-\$2,935	-\$3,118	-\$3,302	-\$3,485	-\$3,668	-\$3,852	-\$4,036	
8.25%	-\$1,878	-\$2,066	-\$2,254	-\$2,442	-\$2,629	-\$2,817	-\$3,005	-\$3,193	-\$3,381	-\$3,569	-\$3,756	-\$3,944	-\$4,132	
8.50%	-\$1,922	-\$2,115	-\$2,307	-\$2,499	-\$2,691	-\$2,883	-\$3,075	-\$3,268	-\$3,460	-\$3,652	-\$3,844	-\$4,037	-\$4,229	
8.75%	-\$1,967	-\$2,163	-\$2,360	-\$2,557	-\$2,753	-\$2,950	-\$3,147	-\$3,343	-\$3,540	-\$3,737	-\$3,934	-\$4,130	-\$4,327	
9.00%	-\$2,012	-\$2,213	-\$2,414	-\$2,615	-\$2,816	-\$3,017	-\$3,218	-\$3,420	-\$3,621	-\$3,822	-\$4,023	-\$4,224	-\$4,425	
9.25%	-\$2,057	-\$2,262	-\$2,468	-\$2,674	-\$2,878	-\$3,085	-\$3,291	-\$3,496	-\$3,702	-\$3,908	-\$4,113	-\$4,319	-\$4,525	
9.50%	-\$2,102	-\$2,312	-\$2,523	-\$2,733	-\$2,943	-\$3,153	-\$3,363	-\$3,574	-\$3,784	-\$3,994	-\$4,204	-\$4,414	-\$4,625	
9.75%	-\$2,148	-\$2,363	-\$2,577	-\$2,792	-\$3,007	-\$3,222	-\$3,437	-\$3,651	-\$3,866	-\$4,081	-\$4,296	-\$4,511	-\$4,725	
10.00%	-\$2,194	-\$2,413	-\$2,633	-\$2,853	-\$3,072	-\$3,291	-\$3,510	-\$3,730	-\$3,949	-\$4,169	-\$4,389	-\$4,607	-\$4,827	
	Catchment Av. HH Income:					\$93,708	Catchment Upper Quartile Income:					\$113,480		
	Total Catchment Households:					288,652	Catchment Households in Upper Quartile:					89,715		

Catchment Av. HH Income: \$93,700 Catchment Upper Quartile Income: \$113,400
Total Catchment Households: 288,662 Catchment Households in Upper Quartile: 89,719

Note: Blue indicates that this house price and interest rate level push 'average' households into mortgage stress (i.e. mortgage repayments > 30% of household income). Orange numbers indicate that this house price and interest rate push upper income quartile households into mortgage stress. Average household incomes are taken from the 2011 census and adjusted to account for income growth to March 2014.

1 Standard Variable Rate as at June 2014
2 Long-term standard variable average since June 2004
Source: Urbis; RBA F5 Indicator Lending Rates; ABS Census, 2011

5.6 SUPPLY AND DEMAND FORECASTS

The following section looks at the proposed future supply of residential dwellings within the market catchment and analyses this alongside the future expected dwelling demand based on population forecasts.

The following supply pipeline, in terms of stage of development, are as follows:

- 30% of the development pipeline are currently under construction/or site works have commenced
- 21% of the developments have approval, however have not yet commenced construction or site works
- 49% of the development pipeline is currently being assessed/undergoing development approval.

Housing Supply by Project Stage
MARKET CATCHMENT, 2014 TO 2020

TABLE 5.13

	2014	2015	2016	2017	2018	2019	2020
Works Commenced / Contracts Let	2,309	2,649	911	0	0	0	0
Have Development Approval	15	793	2,143	1,268	0	0	0
Pre-Development Approval / Early Planning	0	167	2,646	3,540	677	1,596	935
Total	2,324	3,609	5,700	4,808	677	1,596	935

Source: Councils, URBIS

The 30% of the pipeline under construction / undergoing site works has a relatively high degree of certainty of being delivered, due their advanced stage in the development process. This indicates that over the short-term there is a relatively high degree of certainty that the housing in that the housing identified from 2014 to 2016 will be delivered.

There is a degree of risk associated however with the proportion of the development pipeline that is still going through the development approval/building approval process, which may affect the eventual project approval or yield. As such many of the projects scheduled for completion between 2016 and 2020 have a higher degree of risk of being abandoned or not gaining development approval.

Table 5.14 overleaf compares the residential project pipeline with forecast housing demand. Underlying demand has been forecast on the basis of DP&E population growth rates. Household formation has been used as a proxy for underlying housing demand, which has been derived for the market catchment by comparing forecasts population and housing supply. This has been estimated as 2.8 people per household between 2014 and 2021.

The table illustrates that over both the short and long-term, there appears to be insufficient housing stock to meet the growing housing needs of the market catchment.

Between 2013 and 2016 the housing deficit is estimated at approximately 3,400 dwellings, which is expected to increase further in 2016-2021 to a housing deficit of over 7,500 dwellings.

These significant short-falls could potentially lead to a net out migration from the market catchment area, as the market seeks housing elsewhere. Furthermore, the lack of supply relative to demand could result in price appreciation, further restricting the access to housing, particularly for first home buyers.

Housing Supply and Demand Forecasts

MARKET CATCHMENT

TABLE 5.14

	Population Forecasts		
	2013	2016	2021
Hurstville LGA	84,848	87,200	93,750
Kogarah LGA	60,411	62,450	66,850
Rockdale LGA	106,727	113,400	120,900
Canterbury LGA	148,864	152,600	161,900
Sutherland Shire LGA	223,192	229,800	243,200
Bankstown LGA	196,974	201,500	214,750
Total - Market Catchment	821,016	846,950	901,350
	Dwelling Demand Forecasts		
	2013-16	2016-21	
Additional Residents	25,934	43,246	
Additional Housing Demand	9,426	15,718	
New Dwelling Supply	6,021	8,202	
Housing - Deficit / + Surplus	-3,405	-7,516	

Source: ABS Census 2011, Bureau of Transport Statistics 2013, URBIS

6 Conclusions and Recommendations

The study's key findings indicate that the proposed development at 1-3 Wright Street and 108-112 and 124 Forest Road will not have an adverse economic impact on the Hurstville Major Centre or its capacity to achieve its 2031 employment targets. Further to this, the proposed development will increase the housing supply in a market where population growth is expected to exceed its existing development pipeline and affordability is an issue.

Specifically, this study has found that:

- Demand for traditional office space is subdued, with surplus capacity in the market able to accommodate future employment growth
- While the LGA has a jobs gap deficit in all industry sectors, journey to work data indicates that local workers are employed in accessible nearby centres – indicating that local residents have sufficient access to employment
- The proposed 1,150 sq.m of retail GFA space is considered an appropriate level of non-residential floorspace, considering the vacant capacity within the Hurstville office market
- Hurstville is becoming a more attractive residential location for both local residents and overseas migrants
- There is strong underlying demand for infill residential development, compatible with the demographic profile of market catchment residents, and evidenced by strong capital and rental growth, strong sales rates for competing developments and ongoing population growth
- The 'adaptable housing' component of the proposed development residential units align with the catchment's ageing population demand for more specialised housing
- Based on the affordability analysis first home buyer households the median price for apartments within the market catchment is \$510,000 (as outlined in Section 5.5.1), which is above the affordable range for first home buyers (FHBs) with average household incomes. Adding additional housing supply to the catchment will assist in alleviating affordability constraints.
- Between 2013 and 2016 the housing deficit is estimated at approximately 3,400 dwellings, which is expected to increase further in 2016-2021 to a housing deficit of over 7,500 dwellings
- A housing deficit will decrease access to housing for lower income groups in the catchment area, exacerbating affordability issues for FHBs on average household incomes
- The development will generate total of 63 direct one year equivalent construction jobs and 50 ongoing jobs
- In addition to the direct employment, there will 195 indirect one year equivalent jobs created during the construction phase of the project and 307 indirect ongoing jobs.

Disclaimer

This report is dated July 2015 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd's (Urbis) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of SLA Development (Instructing Party) for the purpose of Economic Impact Assessment (Purpose) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.


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This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.


Appendix A


Example Residential Development Profiles


Project Name HIGHPOINT HURSTVILLE		
Developer	Toga Group	
Location	Corner of Forest Road and Pearl Street, Hurstville	
Anticipated Completion	2016	
Units	437	
Property Description	Construction of a master planned community consisting of three buildings, a central garden and a rooftop garden and basement parking.	
Indicative Living Area	1 bed: 50-55 sq.m 1 bed plus study: 53-66 sq.m 2 bed: 70-94 sq.m 3 bed: 101-115 sq.m	
Advertised / Asking Prices	1 bed: from \$410,000 1 bed plus study: \$395,000 2 bed from \$550,000 3 bed from \$780,000	
Take-up Rates	Interest has been very strong, forcing the developer to bring forward the second stage of the release to launch the 14 and 18-storey towers both at once. Over 1,000 people lined up for the opportunity to purchase the units, with 300 parties paying a \$5,000 deposit. The first 230 units were sold in four hours.	
Buyer Profile	Significant interest from investors as well as a lot of interest from local Asian residents who are looking at the property as an owner-occupier. It is believed that 95-100% of buyers in the first release were local Chinese buyers.	
Source	Domain, Australian Financial Review	

Project Name EAST QUARTER - STAGE 2	
Developer	East Quarter Hurstville Pty Ltd
Location	95 Forest Road, Hurstville
Completion	Late 2013
Units	296 (108 x 1 bed, 165 x 2 bed and 23 x 3 bed)
Property Description	Construction of Stage 2 of the East Quarter development, comprising apartments and 10 retail spaces across 3 buildings (2 x 12 level buildings and a 16 level building). The buildings are situated around a 3,500 sq.m central open air plaza. Car parking is provided in a four-level basement.
Indicative Living Area	Approximately 58 – 110 sq.m
Advertised / Asking Prices	1 bed: from \$360,000 2 bed: from \$500,000 3 bed: from \$620,000
Take-up Rates	n.a.
Buyer Profile	n.a.
Source	Project Website, Domain, INBIB

Project Name SOUTHBANK	
Developer	Winten Property Group and Lyon Group Australia
Location	Levey Street, Wolli Creek
Completion	2016
Units	316
Property Description	Construction of 316 apartments across three buildings varying in heights from 10-15 storeys. Communal facilities include a roof-top pool and garden area and a gym.
Indicative Living Area	1 bed: from 50 sq.m 2 bed: from 70 sq.m 3 bed: from 105 sq.m
Advertised / Asking Prices	1 bed: from \$430,000 2 bed: from \$545,000 3 bed: from \$860,000
Take-up Rates	75% of apartments in Stage 2 were sold on the launch weekend. The agent for the apartments had over 500 inquiries in the month following the initial launch.
Buyer Profile	Majority of buyers have been Australian and off-shore investors. The property also appealed to the Gen-Y demographic who have grown up in the surrounding suburbs, making up approximately 25% of buyers.
Source	Australian Financial Review, Property Observer

Project Name HABITAT	
Developer	Lumex Property Group
Location	308 Canterbury Road, Canterbury
Completion	Mid-2016
Units	134 (32 x 1 bed, 34 x 1 bed + study, 27 x 2 bed, 30 x 2 bed + study, 3 x 3 bed and 8 townhouses to be released at a later date)
Property Description	Construction of a 5 level building with outdoor rooms and private outdoor cinema for the use by residents. All apartments have parking spaces in the basement.
Indicative Living Area	1 bed: 45-56 sq.m 1 bed plus study: 53-67 sq.m 2 bed: 70-78 sq.m 2 bed plus study: 73-86 sq.m 3 bed: 89-106 sq.m
Advertised / Asking Prices	1 bed: from \$455,000 1 bed plus study: from \$505,000 2 bed: from \$635,000 2 bed plus study: from \$660,000 3 bed: from \$850,000
Take-up Rates	Less than 80 units remain for sale after two weekends of sales
Buyer Profile	The majority of the apartments sold to date have been to owner-occupiers from the local area, many of which are first-home buyers. There have also been a few sales to investors.
Source	Savills, Project Website, Infolink

Project Name DISCOVERY POINT - PAVILION	
Developer	Australand
Location	1 Princes Highway, Woll Creek
Anticipated Completion	Early 2016
Units	99
Property Description	Construction of a 10 storey building within the Village Square Precinct of Discovery Point.
Indicative Living Area	One-bedroom apartments: 59-65 sq.m Two-bedroom apartments: 81-100 sq.m Three-bedroom apartments: 129 sq.m
Advertised / Asking Prices	1 bed: from \$475,000 2 bed from \$635,000 3 bed from \$790,000
Take-up Rates	The first five stages at Discovery Point have all sold out. Currently selling includes Pavilion, Shore and Summit. 14 apartments available for sale within Pavilion
Buyer Profile	Popular with first home buyers, investors and owner occupiers.
Source	Domain

Project Name CLEMTON PARK VILLAGE - PARKLIFE	
Developer	Australand
Location	60 Charlotte Street, Campsie
Anticipated Completion	Late 2015
Units	299
Property Description	Construction of a 7 storey residential apartment containing a mix of 1 and 2 bedroom apartments, with a cafe tenancy.
Indicative Living Area	1 Bed: From 56 sq.m 2 Bed: From 74 sq.m
Advertised / Asking Prices	1 Bed: \$460,000 – \$480,000 2 Bed: \$605,000 – \$665,000
Take-up Rates	The Courtyard and Air developments have fully sold out. Parklife is the final release and is 95% sold.
Buyer Profile	Half of Clemton Park buyers have been investors and the other half are a mixture between first home buyers and locals who are choosing to downsize. Strong presence of Chinese and Asian buyers as well.
Source	Cordell, Property Observer, Domain

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REPORT TO GEORGES RIVER COUNCIL

IHAP MEETING OF THURSDAY, 24 NOVEMBER 2016

IHAP Report No	3.3	Development Application No	PP2014/0002
Site Address & Ward Locality	93-103 Forest Road Hurstville - East Quarter Site Hurstville Ward		
Proposal	Planning Proposal		
Report Author/s	Senior Strategic Planner, Harkirat Singh and Manager Strategic Planning, Carina Gregory		
Owners	East Quarter Hurstville Pty Ltd		
Applicant	Hville FCP Pty Ltd		
Zoning	B4 Mixed Use, Hurstville LEP 2012		
Date Of Lodgement	19/09/2014		
Submissions	44		
Cost of Works	N/A		
Reason for Referral to IHAP	Change development standards under Hurstville LEP 2012 - Report following Public Exhibition		

Recommendation	<p>THAT the Georges River IHAP receive and note the submissions received during the exhibition of the joint public exhibition of the Planning Proposal PP2014/0002 and DA2016/0218 for the “East Quarter” site at Nos. 93-103 Forest Road Hurstville.</p> <p>THAT the following amendments to Hurstville LEP 2012, as exhibited be supported:</p> <ul style="list-style-type: none"> (a) increase the Floor Space Ratio for the entire East Quarter site from 2.5:1 to 3.5:1 (b) increase the height on Stage 3 of the East Quarter site from 23m to 30m; and (c) increase the height on Stage 3 of the East Quarter site from 40m to 65m, subject to the receipt of concurrence from Sydney Airports that the maximum building height of 65m will not protrude into the Obstacle Limitation Surface. <p>THAT should concurrence not be received from Sydney Airport in respect to (c) above, the maximum height will be in accordance with the requirements of Sydney Airport.</p> <p>THAT the amendment to Hurstville Local Environmental Plan 2012 to increase the height on part of Stage 2 of the East Quarter site from 60 to 65m, not be supported as the site is already developed (Building E).</p> <p>THAT a report to Council be prepared to advise of the IHAP recommendations and request that Council resolve to support the Planning Proposal and the finalisation of the draft amendment to the Hurstville Local Environmental Plan 2012 in accordance with Section 59 of the Environmental Planning and Assessment Act, 1979.</p>
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Site Plan



Executive Summary

1. The former Hurstville City Council received a Planning Proposal request (PP2014/0003) for the 'East Quarter' site at Nos. 93-103 Forest Road Hurstville on 19 September 2014 which requested an amendment to Hurstville Local Environmental Plan ("LEP") 2012 to increase the maximum building height on the eastern part of the site from 23m to 30m, 40m to 65m, 60m to 65m and increase the maximum FSR on the entire site from 2.5:1 to 3.5:1.
2. The Planning Proposal (PP2014/0003) was jointly exhibited with a Development Application (DA2015/0274) from 13 January to 10 February 2016.
3. DA2015/0274 was withdrawn on 12 August 2016 and a new Development Application (DA2016/0218) was lodged together with updated Planning Proposal (August 2016) documents which reflect the built form of the new development application. No change was made to amendments (increases in FSR and height) being sought in the Planning Proposal.
4. DA2016/0218 was inadvertently notified without reference to the Planning Proposal from 1 to 30 September 2016.

5. A joint public exhibition (notification) of DA2016/0218 and the Planning Proposal (August 2016) was undertaken in accordance with Section 72K of the Environmental Planning and Assessment Act, 1979 (“the Act”) from 28 September to 28 October 2016.
6. The St George Design Review Panel (DRP) considered the new Development Application (DA2016/0218) and the Planning Proposal (PP2014/0002) on 6 October 2016 and has provided comments, which primarily relate to the DA2016/0218, in relation to the activation of the interface between the development and Kempt Field, quality and design of the pedestrian access to Kempt Field, solar access to the communal open space because of the density of the development and the character of Jack Brabham Drive at the interface with Kempt Field.
7. This report considers the submissions received at the two joint public exhibitions (January-February 2016 and September-October 2016) of the Planning Proposal and Development Applications and the separate notification of Development Application (DA2016/0218). In total thirty four (34) community submissions and ten (10) public authority submissions were received. A summary of all the submissions received is included as attachments to this report and where the issues raised specifically relate to the Planning Proposal these are addressed in the report. A future report to the Sydney South Planning Panel on DA2016/0218 will address all comments raised in submissions which specifically relate to the DA.
8. This report recommends that IHAP support the proposed increase in the FSR for the whole of the East Quarter site from 2.5:1 to 3.5:1 as exhibited.
9. It is recommended that the heights for Stage 3 (the eastern side of the site) be increased from 23m to 30m and 40m to 65m (as exhibited), subject to confirmation from Sydney Airport that a maximum building height of 65m will not protrude into the Obstacle Limitation Surface (OLS). Whilst the Applicant has demonstrated that no part of the proposal will protrude into the OLS, confirmation is required from Sydney Airport prior to the matter being considered by Council. These recommended height increases are consistent with the maximum heights proposed in DA2016/0218 and on which Sydney Airport is being consulted.
10. The proposed amendment to the Building Height Map for part of the East Quarter site from 60m to 65m (central area on which the existing Building E is located) (as exhibited) is not supported as the site already accommodates a 63m building (19 storeys).
11. In summary, this report recommends that the IHAP note the issues raised in submissions and support the proposed amendments to the Hurstville LEP 2012 in relation to the East Quarter site:
 - Amend the Floor Space Ratio Map for the entire East Quarter site from 2.5:1 to 3.5:1
 - Amend the Building Height Map for part of the East Quarter site (eastern side) from 23m to 30m and 40m to 65m subject to confirmation from Sydney Airport that a maximum building height of 65m is acceptable.
12. The Planning Proposal (August 2016) is accompanied by an Offer to enter into a Planning Agreement. This Offer will be reported to a future Georges River Council meeting. Discussions with the Applicant at the writing of this report are ongoing.

13. The Department issued a Gateway determination on 22 June 2015 and a revised Gateway determination on 12 October 2016 advising the finalisation of the Planning Proposal by end of May 2017.
14. Subject to the IHAP consideration and support of the Planning Proposal (as amended) the next steps include Council consideration and if supported, a report to the Department of Planning and Environment under section 59 of the Act requesting the draft Hurstville LEP 2012 amendment be finalised.

Report in Full

Background

15. The former Hurstville City Council received a Planning Proposal request (PP2014/0003) for the 'East Quarter' site at Nos. 93-103 Forest Road, Hurstville on 19 September 2014 for amendments to Hurstville LEP 2012 to:
 - increase the maximum building height from 23m to 30m (Building X), 40m to 65m (Building F) and 60m to 65m (Building E)
 - increase the maximum FSR on the entire East Quarter site from 2.5:1 to 3.5:1.
16. Council at its meeting on 18 March 2015 considered a report on the Planning Proposal request that recommended its refusal due to the proposed development controls exceeding those adopted by Council in the draft City Centre LEP and the existing controls under 'DCP No.2'; inconsistency with the floor space recommendations in the adopted Hurstville City Centre TMAP Report 2013; unacceptable urban design outcome, specifically related to the overall height and bulk of Building F on the Site. Council resolved at the meeting to:

Support the Planning Proposal request for 93 Forest Road, Hurstville to amend the height and floor space ratio controls under the Draft Hurstville Local Environmental Plan (Hurstville City Centre) 2014 as outlined in the report.

Request the applicant to consolidate all the documents submitted for the Planning Proposal into one Planning Proposal document to assist in processing the proposal.

Forward the Planning Proposal to the Department of Planning and Environment for Gateway determination in accordance with Section 56 of the Environmental Planning and Assessment Act 1979.
17. Council forwarded the Planning Proposal request to the Department of Planning and Environment ("the Department") on 15 May 2015, the Department issued a Gateway determination on 22 June 2015 and a revised determination on 12 October 2016 which conditioned:
 - a minimum 28 days of consultation
 - finalisation of the Planning Proposal by 29 May 2017
 - updating the Planning Proposal to incorporate the outcomes of a traffic and transport study which examines the full impact of additional residential and commercial floorspace, inclusive of the proposed supermarket and consideration of the recommendations of Council's TMAP, and

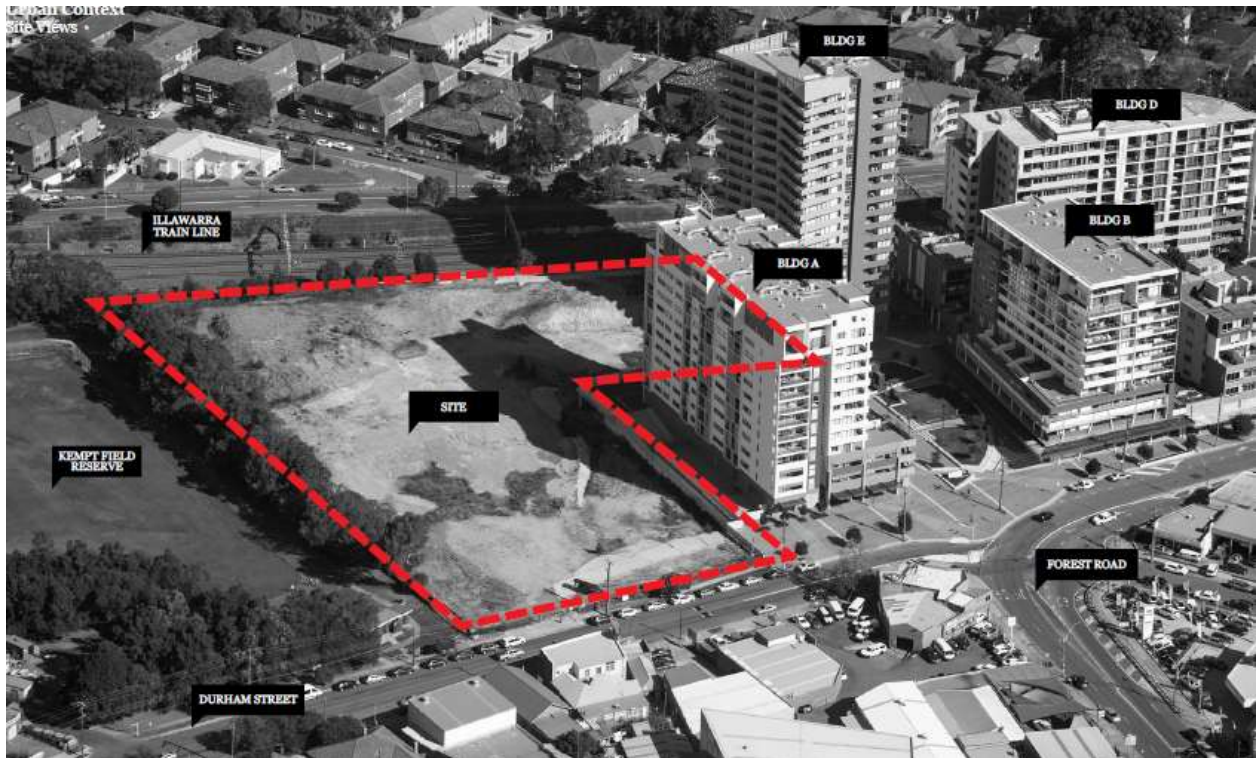
- consultation with key transport authorities (Roads and Maritime Services, Transport for NSW and Sydney Trains) and former Kogarah Council.
18. A condition of the Gateway determination was that the Planning Proposal should be updated to incorporate the outcomes of a traffic and transport study which examined the full impact of additional residential and commercial floorspace inclusive of the proposed supermarket. The study should also consider and respond to the recommendations of Council's Hurstville City Centre TMAP. In addition, consultation with the transport agencies was also required to comply with relevant S117 Directions (refer below).
19. In October/November 2015, Council commissioned GHD Pty Ltd to undertake traffic modelling analysis using the model developed for the TMAP. This work was to assess the cumulative impact on the local road network of a number of Planning Proposal requests along with a number of major development approvals in the vicinity of the subject site, including:
- Planning Proposal for site bounded by Forest Road, Durham Street and Roberts Lane, Hurstville (PP2015/0001)
 - Planning Proposal request for 108, 112 and 124 Forest Road and 1 and 3 Wright Street Hurstville (PP2014/0004)
 - Planning Proposal for East Quarter Stage 3 at 93 Forest Road, Hurstville (PP2014/0003)
 - Development Application for 23-35 Treacy Street, Hurstville (Major Project under Part 3A of the EP&A Act)
 - Development Application for 1-5 Treacy Street, Hurstville (DA2014/1083).
20. Council's Modelling Report identified that the intersection of Forest Road/ Wright Street/ Durham Street would operate over capacity, in particular for right turns from Forest Road into Durham Street. The recommendation of this Report is that the intersection of Forest Road/ Wright Street/ Durham Street must be signalised.
21. The July 2016 Traffic Report (the Transport Planning Partnership) accompanying the revised Planning Proposal (August 2016) noted that the level of additional traffic in East Quarter Stage 3 development is considered to be acceptable in terms of overall traffic impact, however the Report concurred that the Forest Road-Durham Street intersection would need to be upgraded to operate under signal control with additional traffic lanes on Forest Road as recommended by the Hurstville City Centre TMAP. This is being negotiated as part of the Planning Agreement Offer (discussed below).
22. The joint public exhibition of the Planning Proposal and the Development Application (DA2015/0274) was undertaken from **13 January to 10 February 2016** in accordance with the conditions in the Gateway Approval. Fifteen (15) community submissions were received and six (6) submissions from public authorities.

23. DA2015/0274 was withdrawn on 12 August 2016 and a new Development Application (DA2016/0218), and an updated Planning Proposal to reflect the urban form of this new development application, was lodged on 12 August 2016. The Planning Proposal (PP2014/0002) (August 2016) documents included additional information and was updated to reflect the design concept in DA2016/0218. The Planning Proposal did not amend the proposed increases to height and FSR on the site. DA2016/0218 proposes 556 apartments, 4345m² of retail including a supermarket and a private communal open space and is currently under assessment. The Sydney South Planning Panel (which will replace the Sydney East Joint Regional Planning Panel) will be the determining authority for DA2016/0218.
24. DA2016/0218 was notified from 1 to 30 September 2016. Nine (9) community and one (1) public authority submissions were received. A joint public exhibition of the Planning Proposal (PP2014/0003) (August 2016) and DA2016/0218 was undertaken from **28 September to 28 October 2016**. Ten (10) community submissions were received and three (3) submissions from public authorities. The proposed building height and FSR amendments to the Hurstville LEP 2012 which were placed on public exhibition are shown in the maps in Attachments 3 and 4.

SITE DESCRIPTION

Subject Site

25. The Site is located on the southern side of Durham Street at its intersection with Forest Road; which is known as 'East Quarter site' at Nos. 93 - 103 Forest Road, Hurstville, as shown in the figure below.
26. Development within the East Quarter Site has been approved in stages, with both Stage 1 and Stage 2 (located in the western and central area of the East Quarter Site) being completed. Stage 3 is located on the eastern side of the East Quarter site (adjacent to Kempt Field) and is the land subject to the proposed height increases.
27. The total area of the East Quarter site is approx. 2.844ha and the area for Stage 3 is approx. 13,927m².
28. The East Quarter Site is located on the eastern edge of the Hurstville City Centre and is adjacent to large area of open space at Kempt Field (approx. 31,500m²). Both Allawah and Hurstville Railway Stations are walking distance to the site being approx. 500m and 750m respectively.
29. The Site is in the Eastern Bookend precinct identified within the Hurstville City Centre Concept Masterplan 2004 and DCP 2 - Hurstville City Centre. The desired future character for Eastern Bookend is to define and create a sense of entry. This will be achieved through strong built form and feature public domain treatment. Residential use will dominate upper levels of development.



Site Context (Source: Urban Design Report, Fridcorp, July 2016)

30. The northern boundary of the East Quarter Site adjoins Durham Street and the southern boundary adjoins the Illawarra Railway Line. Opposite the East Quarter Site on the northern side of Durham Street, are a number of industrial uses accommodated in one and two storey buildings (this area is the subject of a Planning Proposal). Adjoining the Site to the east is Kempt Field, an area of public open space which is managed by Georges River Council.



Drone Image of the East Quarter Site showing Stage 3 ("site") (Source: DKO)

31. The western boundary of the East Quarter Site is a property which was previously used as a pub that is now vacant, but has approval for the construction of a 13 storey mixed use development.



View from Durham Street (Source: Google Maps November 2016)



**Eastern elevation of Building A in Stage 2, which abuts the subject site
(Source: Mecone, 2016)**

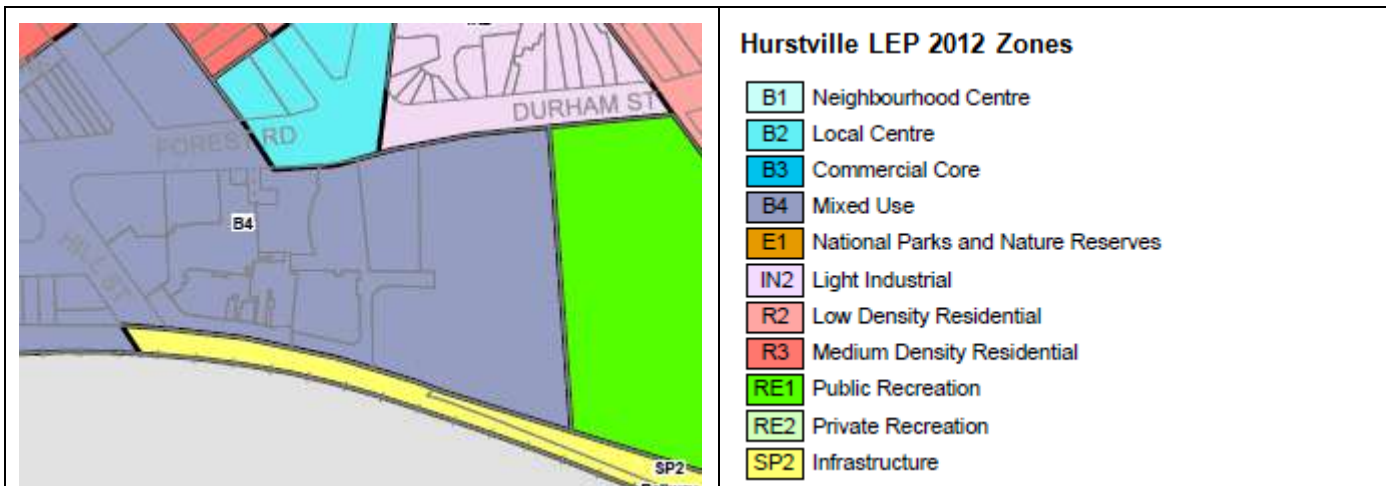


Aerial View Northeast (Source: Urban Design Report, Fridcorp, July 2016)

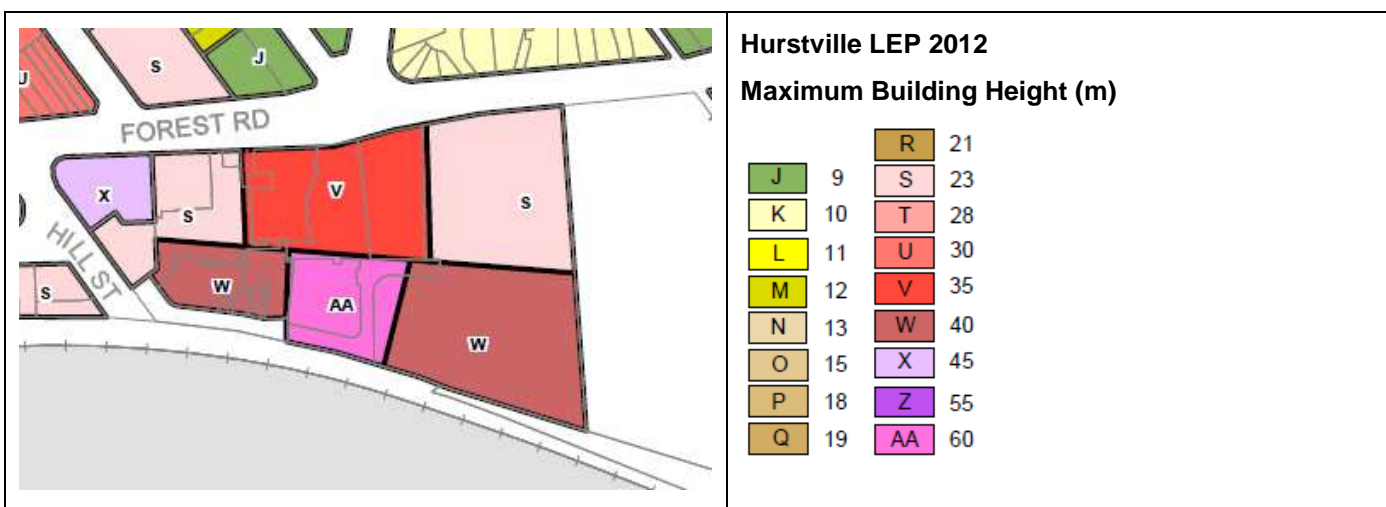
32. Beyond Kempt Field, and approximately 500m to the east of the Site, are single dwelling houses and on the southern side of the Illawarra Railway Line is mixed development comprising single dwellings and older style residential flat buildings.

Current Planning Controls

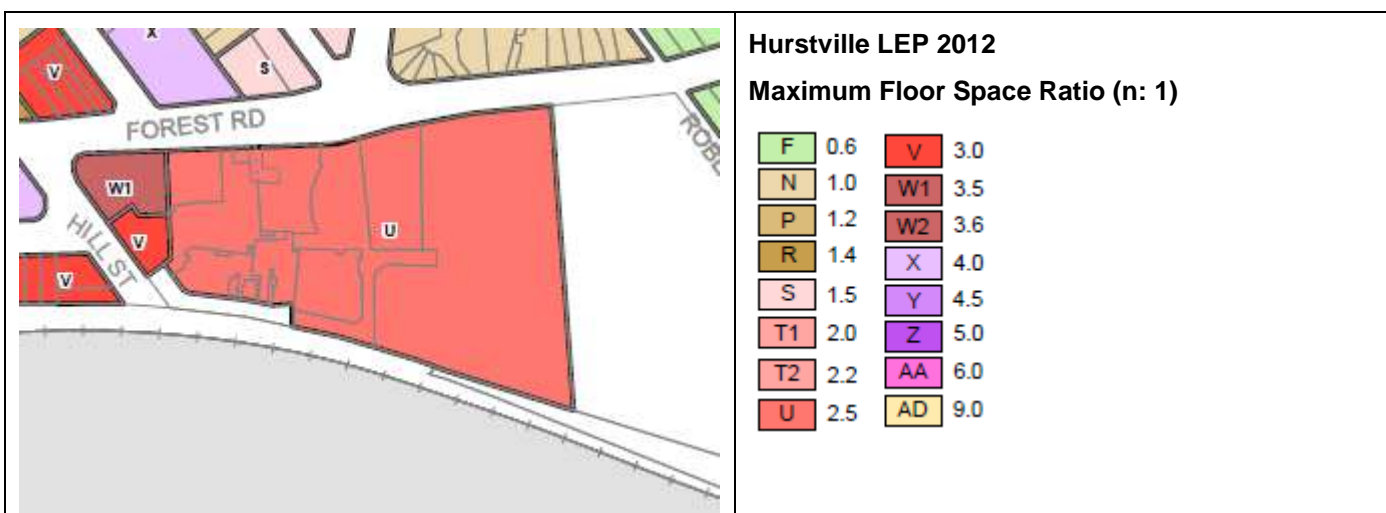
33. The Hurstville LEP 2012 applies to the Subject Site. The following provisions are relevant to the Planning Proposal; extracts of which are shown in the figures below:
- Land zoning: B4 Mixed Use
 - Height: range 23m, 35m, 40m and 60m
 - FSR: 2.5:1
 - Active Street Frontages: active frontage along the Forest Road frontage
 - Heritage: no heritage items located on the Site
 - Airspace Operations: must be considered



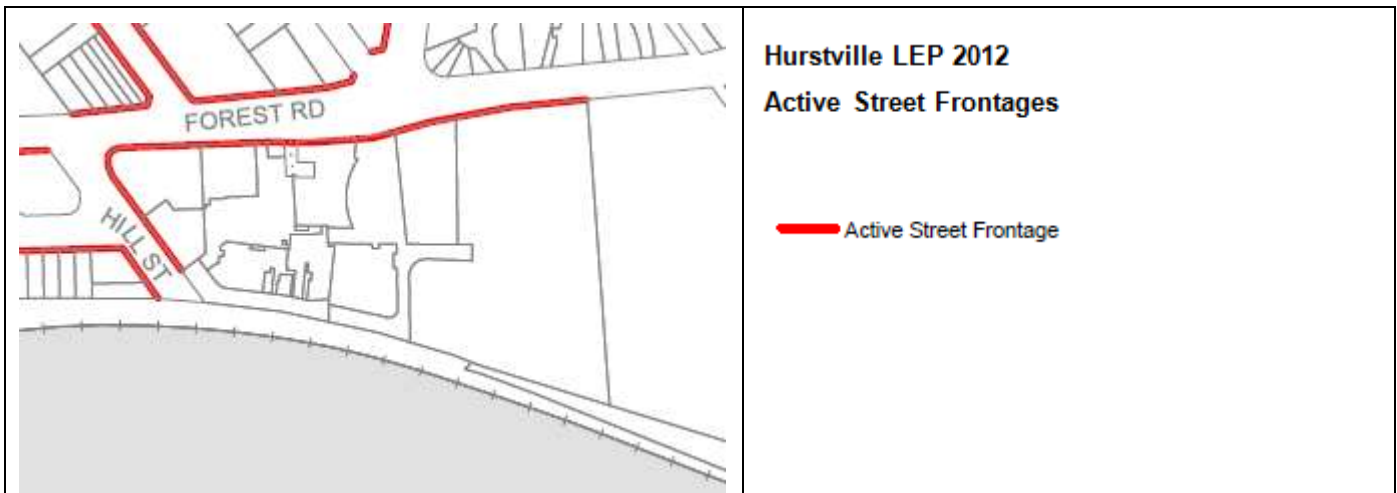
Current zoning under Hurstville LEP 2012



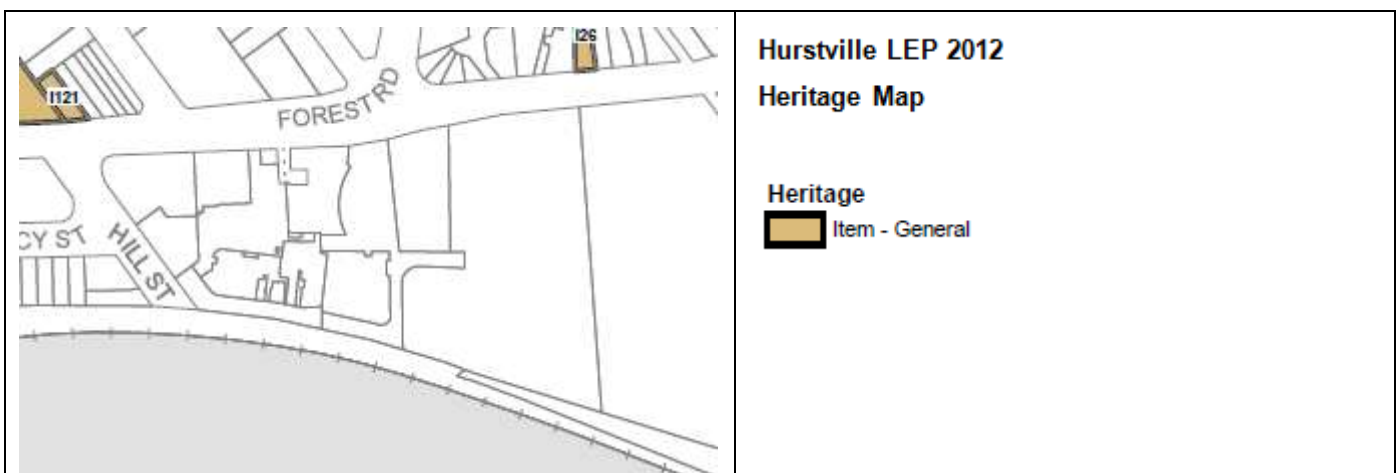
Current height under Hurstville LEP 2012



Current FSR under Hurstville LEP 2012



Current Active Street Frontages under Hurstville LEP 2012



Current Heritage under Hurstville LEP 2012

PUBLIC EXHIBITIONS

34. Joint Public Exhibition January/February 2016

The Planning Proposal was initially placed on public exhibition jointly with Development Application DA2015/0274 from 13 January to 10 February 2016 for a period of 29 days in accordance with the provisions of the *Environmental Planning and Assessment Act and Regulation*. During this exhibition, twenty one (21) submissions were received.

DA2015/0274 was withdrawn and a new Development Application (DA2016/0218) was lodged on 12 August 2016 with an updated Planning Proposal (August 2016) to reflect the urban form of this new Development Application. As noted above, no change was made to amendments (increases in FSR and height) being sought in the Planning Proposal.

35. JRPP notification of DA2016/0218

As noted above, the Sydney South Planning Panel is the determining authority for DA2016/0218 as the development is categorised as “Regional Development” under State Environmental Planning Policy (State and Regional) Development 2011. Development Application DA2016/0218 was notified from **1 to 30 September 2016** for a period of 30

days. This notification period overlaps with the second joint public exhibition (refer below). There were ten (10) submissions received during this notification.

36. Joint Public Exhibition September/October 2016

The Planning Proposal (PP2014/0003) was jointly placed on public exhibition with Development Application DA2016/0218 from **28 September to 28 October 2016**, in accordance with the provisions of the *Environmental Planning and Assessment Act and Regulation*. The re-exhibition took place as the new DA2016/0218 proposed more apartments (556), 4345m² of retail including a supermarket and a private communal open space and the Planning Proposal included additional information to reflect the amended design concept. The proposed building height and FSR amendments to the Hurstville LEP 2012 which were placed on public exhibition are shown in the maps in Attachments 3 and 4.

During this exhibition, thirteen (13) submissions were received and the comments raised which specifically relate to the Planning Proposal are considered in this report.

37. The notification for the public exhibitions included the following:

- Statutory notices in *The St George and Sutherland Shire Leader* Newspaper (13 January 2016, 1 September 2016, 28 September 2016 and 12 October 2016)
- Dedicated pages on Council's website (under [Public-Notices](#))
- Facebook update (paragraph on project information linking to further details)
- Displays in Council's Customer Service Centres and libraries including the public exhibition information, the Planning Proposal and appendices, draft Hurstville LEP 2012 Height of Buildings and Floor Space Ratio Maps, Gateway determination, relevant Council Report and other legislative documents and information (e.g. section 117 Directions compliance table, State Environmental Planning Policy compliance, Hurstville LEP 2012 written instrument and Maps).
- Approximately 958 letters were sent to the affected and adjoining land owners and key transport agencies and the former Kogarah Council (in accordance with the Department's Gateway determination)
- Telephone contact with Strategic Planning and Council's Duty Planner
- Face-to-face consultation in the form of Counter enquiries by Strategic Planning and Duty Planner.

38. Public Authority Consultation

In accordance with the Gateway Determination (dated 22 June 2015) Condition No. 2, consultation was required with the following public authorities under sections 56(2) (d) of the Act and /or to comply with the requirements of relevant S117 Directions:

- a) Transport for NSW (TfNSW)
- b) Transport for NSW - Roads and Maritime Services (RMS)
- c) Transport for NSW - Sydney Trains
- d) Former Kogarah Council.

39. Council consulted with the above Public Authorities, Sydney Airport and Ausgrid during the public exhibitions / notifications and the responses received are considered in the Summary of Submissions below and in Attachment 2. The former Kogarah Council advised that they would not be making a submission to the first public exhibition.

40. Acknowledgement letters/emails were sent to all submitters following the end of each public exhibition/notification period.

SUMMARY OF SUBMISSIONS

41. A summary of all submissions received during the public exhibitions (January/February 2016, September/October 2016) and Notification (September 2016) is provided in Attachments 1 and 2. As detailed in the Attachments, many of the issues raised in submissions are detailed design issues which relate to the Development Application rather than the Planning Proposal. The Table in Attachment 1 clearly identifies where this is the case, and notes that these detailed issues will be addressed in a future assessment report on DA2016/0218 to the Sydney South Planning Panel - the determining authority. All submitters to DA2016/0218 will be notified of the date and invited to attend this future Sydney South Planning Panel meeting.
42. A total of thirty four community submissions and ten public authority submissions were received during the exhibition periods (as detailed in the Table below). The majority of the community submissions were from existing East Quarter residents. Public authority submissions were received from:
- Roads and Maritime Services
 - Transport for NSW
 - Sydney Trains
 - Sydney Airport
 - Ausgrid
 - Former Kogarah Council

Submission	Number received
Community	15 (first joint exhibition) + 9 (JRPP DA notification) + 10 (second joint exhibition) = 34
Public Authority	6 (first joint exhibition) + 1 (JRPP DA notification) + 3 (second joint exhibition) = 10
Total	44

43. A detailed summary of all submissions, the key issues raised and whether the issue raised relates to the Planning Proposal or the Development Application, and therefore will be considered in the future assessment of DA2016/0218 by the Sydney South Planning Panel, is included in Attachments 1 and 2.
44. For the purpose of reviewing and summarising the key issues raised, the submissions received during the two exhibitions and notifications are grouped in the following categories: community submissions and public authority submissions.
45. Community Submissions
A total of thirty four (34) community submissions were received to the two joint exhibitions and one DA notification. These submissions predominately came from existing residents in the East Quarter Stage 2 development (Buildings A and E) and included issues related to residential amenity, urban design, traffic and parking issues, child safety issues, overcrowding/overdevelopment, view loss, compromise of landmark presence of focal building and lack of retail. These issues are related to the development application and will be addressed in the assessment report to the Sydney South Planning Panel.

46. The following is a summary of issues raised in the community submissions (note that an individual submission may raise more than one topic):
- *Focal Building E* (6 submissions) - concerns that Building E will no longer be an iconic / landmark building
 - *Overcrowding / overdevelopment* (16 submissions) - concerns over the density of the development
 - *View loss* (15 submissions) - concern over loss of view from Buildings A and E
 - *Loss of property value* (10 submissions) - this is in conjunction with the loss of view
 - *Traffic and parking issues* (14 submissions) - concerns over excessive traffic on roads and parking problems
 - *Residential amenity* (12 submissions) - concerns over solar access, privacy, overlooking and overshadowing issues
 - *Design issues* (4 submissions) - concern over bulky design of Building F
 - *Children Safety* (2 submissions) - concern regarding children safety due to a number of schools present in the vicinity
 - *Infrastructure upgrades* (1 submission) - concern regarding lack of Infrastructure upgrades
 - *Fire safety* (2 submissions) - concern regarding fire risk due to the density of development
 - *Acoustic amenity* (2 submissions) - concern over noise from railway and road traffic
 - *Wind mitigation* (2 submissions) - concern over noise from wind tunnel effect due to significant heights of proposed towers
 - *Building height* - SACL approval (2 submissions) - concern regarding lack of referral to Sydney Airport Corporation Ltd (SACL)
 - *Lack of retail* (2 submissions) - concern regarding lack of convenience shopping within East Quarter area
 - *Inclination to have a meeting* (3 submissions) - some of the submitters would prefer to voice their concerns with Council staff personally
 - *Amenities/Facilities* - (1 submission) - concern regarding lack of amenities like swimming pool, gym and the like.
47. Of the total 34 submissions, one submission (signed by 28 people) concurs with the issues raised by the Poppy, Marigold and Lotus Building Management Committee which raised issues of loss of characteristics, traffic congestion and children safety, noise pollution, wind mitigation, building height, overshadowing/loss of view and limited business opportunities.
48. A detailed summary of all submissions, a planning response to the issues as they relate to the Planning Proposal and recommendations are included in Attachment 1 of this report. As previously noted, and detailed in the summary table, the majority of comments raised in the community submissions relate to detailed built form issues. These issues will be considered in the assessment of DA2016/0218 and its consideration and determination by the future Sydney South Planning Panel.

49. As considered below, the Planning Proposal (PP2014/0003) and Development Application DA2016/0218 were both considered by the St George Design Review Panel (“DRP”) on 6 October 2016. A number of comments in relation to the built form in DA2016/0218 and the Design Quality Principles of SEPP 65 Design Quality of Residential Apartment Development were identified by the DRP; these issues will be addressed in the assessment of DA2016/0218.
50. Public Authority Submissions
The following public authorities were consulted and submissions received during the joint public exhibition of the Planning Proposal and Development Application and notification of the DA for East Quarter Stage 3 Development:
- Roads & Maritime Services
 - Transport for NSW
 - Sydney Trains
 - AusGrid
 - Sydney Airport
 - Former Kogarah City Council.
51. A detailed summary of the comments received and a response to the submissions is provided in Attachment 2 – Summary of Public Authority Submissions.
52. The main issues raised in the submissions are summarised below.
53. ***Roads and Maritime Services (RMS) (Three submissions to the first and one to the second exhibition received raising the following issues)***
Roads and Maritime Services (RMS) has reviewed the planning proposal to amend the planning controls for the subject site and raises no objection, as the proposed amendments will not have a significant traffic impact on the classified arterial road network.
54. However, RMS notes that the Applicant proposes traffic control signals at the Forest Road / Durham Street / Wright Street intersection, which requires approval of RMS under Section 87 of the *Roads Act, 1993*. Prior to the determination of any development application (post gazettal of the planning proposal) requires:
- Submission of traffic analysis demonstrating that the provision of traffic signals complies with the warrant criteria as outlined in the Roads and Maritime Traffic Signal Design Guide - Section 2 (Warrants)
 - Electronic copies of the intersection modelling supporting the layout and phasing of the proposed signalised intersection
 - Geometric concept design of the proposed signalised intersection overlayed on a survey plan to ensure that the footprint of the intersection layout can be accommodated within the existing road reserve

55. Response: Comment noted in relation to the Planning Proposal. The RMS comments which relate to Development Application (DA2016/0218) will be considered in the assessment of DA2016/0218 and its consideration and determination by the future Sydney South Planning Panel.
56. The Applicant has been informed about the dedication of the area specified by RMS and the Applicant will need to keep this area clear of buildings and structures.
57. **RECOMMENDATION: No change to the Planning Proposal is recommended in light of RMS comments.**
58. ***Transport for NSW*** (Two submissions to the first and two submissions to the second exhibition received raising the following issues)
Transport for NSW provides the following comments:
59. ***Proposed Forest Road/Durham Street/Wright Street Intersection Arrangement***
TfNSW note that the proposed upgrade of the Forest Road/Durham Street/Wright Street intersection includes signalisation of the intersection with provision of additional traffic lanes.
60. TfNSW note that Forest Road and Durham Street are regular bus routes and no detailed information has been provided in the planning proposal to assess the performance and the feasibility of the proposed intersection arrangement. TfNSW requests that the applicant provides detailed information in relation to the proposed intersection upgrade, in particular:
- Proposed phasing arrangements;
 - Detailed SIDRA output;
 - Proposed intersection arrangement overlaid on an aerial map; and
 - Confirmation that the proposed intersection arrangement caters bus movements along Forest Road and Durham Street.
61. ***Road Safety Audit for the Forest Road/Durham Street/Wright Street Intersection Upgrade***
TfNSW note that the earlier a project is audited the more likely that the road safety issues or risks identified can be significantly reduced or eliminated. This would have the potential to reduce costly treatments at later stages of the project. Therefore, TfNSW requests that a Stage 2(Concept Plan) Road Safety Audit be carried out for the proposed Forest Road/Durham Street/Wright Street intersection design in accordance with Austroads Guide to Road Safety Part 6: Road Safety Audit; by a TfNSW accredited road safety auditor. Based on the results of the road safety audit, the applicant needs to review the design drawings and implement safety measures as required.
62. ***Pedestrian and Cyclists***
TfNSW note that the traffic report prepared to support the planning proposal includes limited information in relation to pedestrian and cyclists. TfNSW requests that the traffic report for the development application includes the following:
- Provision of bicycle parking and end of trip facilities for pedestrian and cyclists in accordance with Hurstville City Council development control plans, standards and guideline documents;

- Provision of bicycle facilities in secure, convenient, accessible areas close to the main entries incorporating adequate lighting and passive surveillance and in accordance with Austroads guidelines;
- Details of connectivity, safety and accessibility for pedestrians and bicycle riders to existing pedestrian and bicycle networks/road networks and public transport; and
- Details of wayfinding strategies and travel access guides to assist with increasing the mode share of walking and cycling.

63. Response: The TfNSW requirements in relation to provision of traffic signals at the Forest Road / Durham Street / Wright Street intersection in form of a Traffic Report and SIDRA modelling, bus Swept Path analysis and requirement for a Road Safety Audit relate to the detailed design of the development in Development Application (DA2016/0218) and will be considered in the assessment of DA2016/0218 and its consideration and determination by the future Sydney South Planning Panel.

64. **RECOMMENDATION: No change to the Planning Proposal is recommended in light of the TfNSW comments.**

65. ***Sydney Trains***

Sydney Trains raised no objection to the Planning Proposal proceeding and noted that any issues related to the actual development will be dealt with as part of the concurrence review under Clause 86 of the *State Environmental Planning Policy (Infrastructure) 2007*.

66. ***Former Kogarah City Council***

Former Kogarah Council advised that they would not be making a submission on the Planning Proposal and Development Application for East Quarter.

67. ***Ausgrid***

Ausgrid have provided conditions of consent that will be incorporated, if the application is approved. This submission specifically relates to DA2016/0218.

68. ***Sydney Airport***

Sydney Airport has provided initial comment and a request for additional information and clarification on the proposed building height in DA2016/0218. The Applicant and Council are currently providing additional information to Sydney Airport in relation to the proposed development's height.

Whilst the Applicant has demonstrated that a building height of 65m will not protrude into the OLS, consultation will continue with Sydney Airport in respect of the Planning Proposal, prior to the matter being considered by Council. The response from Sydney Airport in relation to the maximum building height and the OLS will be included in the report to Council on the Planning Proposal.

RECOMMENDATION: THAT advice be obtained from Sydney Airport that a proposed maximum building height of 65m on Stage 3 of the East Quarter site will not protrude into the Obstacle Limitation Surface, and this advice be included in the report to Council on the Planning Proposal.

69. PLANNING AGREEMENT

70. There is a current Planning Agreement that applies to the entire East Quarter site which contains Stages 1, 2 and 3. This Planning Agreement provides for landscaping works, Kempt Field works, monetary contributions to Hurstville Public School and public access links within the site. These works and contributions are required to be provided for each Stage of the site.
71. As part of the Planning Proposal and Development Application for Stage 3, the Applicant (Hville FCP Pty Ltd) submitted an Offer to enter into a new Planning Agreement with Council in accordance with section 93F of the *Environmental Planning and Assessment Act 1979*. It proposed that this Planning Agreement will replace the obligations under Stage 3 of the current Planning Agreement and provide additional public benefits for the community.
72. A Planning Agreement is a mechanism which allows for negotiation and subsequent agreement between planning authorities and developers to extract public benefits from the planning process and ensure that development produces targeted public benefits over and above measures to address the impact of development on the public domain. Agreements provide a flexible means of achieving tailored development outcomes and targeted public benefits, including a means by which communities can agree to the redistribution of costs and benefits of development. Planning agreements provide enhanced and more flexible infrastructure funding opportunities for planning authorities.
73. The proposed Planning Agreement for Stage 3 provides for the following public benefits:
- a. Construction works at the Forest Road and Durham Street intersection that includes the signalisation of the intersection.
 - b. Completion of the outstanding obligations under the current East Quarter Planning Agreement. This includes the following:
 - i. a monetary contribution to landscaping works,
 - ii. a monetary contribution to Hurstville Public School,
 - iii. a monetary contribution to Kempt Field embellishment works,
 - iv. the provision of an easement for public access across the site (this easement is for a continuous public access link along the landscape corridors connecting Stage 3 plaza area/open space with Kempt Field and Stage 2 plaza area and Forest Road)
 - c. A monetary contribution for the embellishment of Kempt Field.
74. It is proposed that these works and contributions are over and above the section 94 contributions that would be payable for the proposed development.
75. The proposed Planning Agreement will be considered in a separate report to Georges River Council at its meeting on 5 December 2016. This report will assess the Offer in accordance with Council's *Policy on Planning Agreements* (2016) and in relation to the "acceptability test" which would require that the Planning Agreement:

- a. is directed towards proper or legitimate planning purposes, ordinarily ascertainable from the statutory planning controls and other adopted planning policies applying to development,
- b. provide for public benefits that bear a relationship to development that is not *de minimis* (that is, benefits that are not wholly unrelated to development),
- c. produce outcomes that meet the general values and expectations of the public and protect the overall public interest,
- d. provide for a reasonable means of achieving the relevant purposes and outcomes and securing the benefits,
- e. protect the communities reasonable planning expectations and avoid environmental harm,
- f. ensure the quantum of the public benefit is commensurate with the value of the development contributions which the Council considers are reasonably due.

76. If supported by Council, public notice of the proposed Planning Agreement will be undertaken in accordance with the legislation and Council's Policy on Planning Agreements (2016).

St George Design Review Panel

77. The St George Design Review Panel ("DRP") considered the updated Planning Proposal (August 2016) and DA2016/0218 on 6 October 2016.

The DRP acknowledged that the density and height controls of the Planning Proposal are considerably in excess of the Council's current planning controls. The DRP did not raise issues with the Planning Proposal.

The DRP provided a number of comments on the built form in DA2016/0218 in relation to the Design Quality Principles of SEPP 65. These comments are specifically related to the development application and will be addressed in the assessment report to the Sydney South Planning Panel. The comments relate to:

- through site link and access to Kempt Field,
- development interface with Kempt Field
- activation of building facades on the interface with the park,
- overshadowing, solar access and communal open spaces,
- lack of deep soil areas,
- visual interface with the park,
- treatment of Jack Brabham Drive reserve,
- clear way finding and lighting.

78. The DRP also recommended that the Applicant work with Council for the delivery of the full length of the western boundary of Kempt Field opposite Building X and Building F which should be a high quality proposal that facilitates improved park amenity (furniture, lighting and the like), improved pedestrian connections through the development and to the wider neighbourhood and to the rail station. The Applicant has been made aware of the DRP comments and will need to be considered as part of the DA assessment. This issue will be addressed in the future assessment report for DA2016/0218 to the Sydney South Planning Panel. In addition, it is noted that the Planning Agreement under negotiation (as referred to above) includes a monetary contribution for the embellishment of Kempt Field.

CONCLUSION AND NEXT STEPS

79. Council has exhibited the Planning Proposal jointly with the Development Application on two occasions and has received submissions from the community and public authorities. Many of the issues raised in the community submissions are design issues relating to the Development Application rather than the Planning Proposal. These issues will be addressed in a future assessment report on the development application to the Sydney South Planning Panel.
80. In light of the comments raised during the two (2) public exhibitions, this report recommends that the IHAP support the following proposed changes to the Hurstville Local Environmental Plan 2012 for the Subject Site (Nos. 93-103 Forest Road, Hurstville):
- Amend the Height of Buildings Map to increase the height on part of the eastern side of the East Quarter site from 23m to 30m, consistent with the Planning Proposal as exhibited (refer Attachment 5)
 - Amend the Height of Buildings Map to increase the height on Stage 3 of the East Quarter site from 40m to 65m, subject to further consultation with Sydney Airport (refer Attachment 5).
 - Amend the Floor Space Ratio Map to increase the maximum FSR on the entire site from 2.5:1 to 3.5:1 (refer Attachment 6)
81. The following proposed changes to the Hurstville Local Environmental Plan 2012 (“LEP 2012”) are not supported due to comments raised by Sydney Airport regarding the “prescribed airspace” and that development is already completed (Building E) on that part of the Site:
- Amend the Height of Building Map to increase the height on part of the central side of the East Quarter site (Building E) from 60m to 65m. As shown in Attachment 5, this area of the site is to retain a maximum building height of 60m.
82. The advice from the Department of Planning and Environment at the issuing of the Gateway Determination (22 June 2015) confirmed that Council will request the Department to draft and finalise the Local Environmental Plan under section 59 of the *Environmental Planning and Assessment Act 1979*.
83. A report will be prepared for the next Georges River Council meeting to advise the outcomes and recommendations of this IHAP meeting and request that Council (as the “*relevant planning authority*”) resolve to support the Planning Proposal (as amended) and the finalisation of the draft amendment to the Hurstville Local Environmental Plan 2012 as recommended above.
84. Subject to the IHAP consideration and support of the Planning Proposal (as amended), the next steps include:

24 Nov 2016	IHAP consideration (this Report)
24 Nov 2016	Feedback from Sydney Airport on proposed height increase and Obstacle Limitation Surface (“OLS”)
5 Dec 2016	Council consideration
Dec 2016	Subject to the resolution of Council, a report under section 58 of the EP&A Act will be provided to the Department of Planning & Environment advising of Council’s resolution and any amendments to the Planning Proposal and requesting the draft Hurstville LEP 2012 amendment be finalised.

Operational Plan Budget

85. Within budget allocation.

ATTACHMENTS

- Attachment [View1](#) Summary of General Submissions - East Quarter site at Nos. 93-103 Forest Road Hurstville
- Attachment [View2](#) Summary of Public Agency Submissions for East Quarter site at Nos. 93-103 Forest Road Hurstville
- Attachment [View3](#) East Quarter - Proposed Height of Buildings Map - Exhibited
- Attachment [View4](#) East Quarter - Proposed Floor Space Ratio Map - Exhibited
- Attachment [View5](#) East Quarter - Proposed Height of Buildings Map - Recommended
- Attachment [View6](#) East Quarter - Proposed Floor Space Ratio Map - Recommended

Attachment 1: Summary of Community Submissions to the Public Exhibition of the Planning Proposal and Development Application for East Quarter site at 93 - 103 Forest Road Hurstville (34 Submissions)

	Name	Summary of Submission	Response	Planning Proposal Recommendation
<p align="center">Joint Public Exhibition 13 January to 10 February 2016 (15 Submissions)</p> <p>These submissions are in response to the joint exhibition of PP2014/0003 (September 2014) and DA2015/0274 (July 2015). DA2015/0274 proposed 379 residential apartments and 4,735m² commercial floorspace including a 3,600m² supermarket, housed in two towers, 7 and 18 storeys high. DA2015/0274 was <u>withdrawn</u> on 12 August 2016 and a new DA (DA2016/0218) and a revised Planning Proposal were lodged on the same day (refer below). These documents were exhibited at later dates and submissions received are presented further in this table.</p>				
1	Mei Yuan 14/01/16	Concern is raised with regards to overcrowding with a floor space ratio of 3.5:1.	<p>Overdevelopment /overcrowding</p> <p>The Planning Proposal seeks to increase the FSR from 2.5:1 to 3.5:1. This increase in density will provide additional housing and is consistent with the NSW State Governments "A Plan for Growing Sydney" and the draft South Sub regional Strategy. It will provide capacity for additional mixed-use development in Hurstville including housing and retail, services.</p> <p>The draft South Subregional Strategy sets dwelling and employment targets to 2031 which Councils in the South Subregion (now District) are expected to accommodate in their LEPs. The draft Strategy identified the former Hurstville Local Government Area to achieve an employment capacity target of 3,000 employees and a dwelling target of 4,100 dwellings to 2031.</p> <p>Council has identified Hurstville City Centre to provide a major proportion of the employment and housing</p>	No change to the proposed maximum FSR of 3.5:1.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
			<p>growth in the LGA as the City Centre is well serviced by public transport, retail services, schools and other services.</p> <p>Specific design, layout and amenity issues will be addressed as part of the Development Application.</p>	
		Concern is raised in regards to the lack of amenities including gym and swimming pool in the Stage 3 development.	<p>Amenities /Facilities This issue specifically relates to DA2015/0274 which has been withdrawn.</p> <p>The new DA2016/0218 does not include a pool or gym. The issue of communal open space and residential amenity will be considered in the assessment of DA2016/0218, including consideration by the St George Design Review Panel and its future determination by the Sydney South Planning Panel.</p>	No change.
2	Suyan Jin 18/01/16	<p>Concerned over:</p> <ul style="list-style-type: none"> the height of proposed Building F (65m) and the proposed building height of 40m for Building X, and that Building E (Poppy Building) will no longer be an iconic / landmark building. The reason for the Applicant's request for more height when the previous request for building height from 40m to 60m was rejected. the ethics and values of Council if the proposal is approved 	<p>Focal Building E Comment noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>The Planning Proposal includes a maximum height of 65m on the site of proposed Building F. It is acknowledged that this will result in Building E no longer being the sole iconic/landmark building on the site and that there will be other buildings with similar heights. As noted by the Design Review Panel, <i>"overall the building scale and configuration is generally acceptable"</i></p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
			<p>The height of the proposed Building F in DA2016/0218 will be considered in relation to both the site and its surroundings in the assessment of the DA and in the assessment report to the Sydney South Planning Panel.</p> <p>The design and built form issues are related to the development application. The revised Planning Proposal and the new DA2016/0218 (both lodged in August 2016) have been considered by the St George Design Review Panel (DRP) and the comments raised by the DRP are considered in the body of the report.</p>	
		Concern over East Quarter's false commercial advertising - loss of '270 degrees panoramic views of the city' if proposal is approved as requested.	<p>View loss Comment noted. The DA2015/0274 has been withdrawn.</p> <p>Consideration of the impact on views will be considered in the assessment of the new DA2016/0218 and will be addressed in the assessment report to the Sydney South Planning Panel.</p>	No change.
		Concern over bulky and unsophisticated design.	<p>Design Issues Comment noted. The DA2015/0274 has been withdrawn.</p> <p>Impacts of the issues of bulk and design will be considered in the assessment of the new</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
			DA2016/0218 and will be addressed in the assessment report to the Sydney South Planning Panel.	
		Concern over loss of view, solar access, privacy, overlooking issues and loss of property value.	<p>Residential amenity Comment noted. The DA2015/0274 has been withdrawn.</p> <p>Consideration of the impacts of loss of view, solar access, privacy, overlooking (comprising Residential amenity) will be undertaken in the assessment of the new DA2016/0218 and will be addressed in the assessment report to the Sydney South Planning Panel.</p> <p>Loss of property value Comment noted. The DA2015/0274 has been withdrawn.</p> <p>There is no evidence to support the view that the proposed development will affect property value. It should be noted that the issue of property value (whether negative or positive) is not a planning consideration.</p>	No change.
		Concern over overcrowding and fire risk	<p>Overdevelopment / overcrowding Comment noted.</p> <p>See response above for Overdevelopment / Overcrowding.</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
			Fire safety Comment noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016. Fire risk is a DA issue and will be considered in the assessment report to Sydney South Planning Panel.	
		Concern over increased traffic and crowded driveways	Traffic and Parking Comments noted. The DA2015/0274 has been withdrawn. The impacts of increased traffic will be considered in the assessment of the new DA2016/0218 and will be addressed in the assessment report to the Sydney South Planning Panel. Council's traffic modelling and engineers have identified the need for a range of traffic management measures to manage future traffic loads, including the need for traffic signals at the Durham Street and Forest Road intersection. The Applicant concurs with the need for upgrade works and traffic signals at this intersection, and these are proposed as public benefits in a proposed Planning Agreement with Council. Refer to report for further details.	No change.
		Concern regarding safety of foundations as the site was used for industrial storage previously.	Site Contamination Issues Comments noted. The DA2015/0274 has been	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
			<p>withdrawn and replaced by 2016/0218.</p> <p>The Planning Proposal does not propose a change to land use zone (it is currently zoned B4 Mixed Use), it requests to amend the height and floor space ratio for the subject site.</p> <p>The revised Planning Proposal acknowledges that the land is contaminated and is able to be remediated to accommodate residential development via the Remedial Action Plan already prepared for the site.</p> <p>A Site Contamination Report that includes a site remedial strategy has been prepared for the site that proposes that remediation of Stage 3 will be necessary prior to future use of the site for commercial and residential purposes. This strategy applies to DA2016/0218 and will be considered in its assessment.</p> <p>This issue of safety of foundations and any contamination of the site will be addressed in the assessment report to the Sydney South Planning Panel.</p>	
		<p>If more people need to be accommodated, Council should:</p> <ul style="list-style-type: none"> • Either select other sites in Hurstville / NSW • Expand horizontally rather than vertically 	<p>Overdevelopment/ overcrowding</p> <p>Comments noted. See response above for Overdevelopment / Overcrowding.</p>	No change.
3	Yifang Xie	Concern raised in relation to the increase in population density around their property.	<p>Overdevelopment</p> <p>Comments noted. See response above for</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
	30/01/16		Overdevelopment / Overcrowding.	
		Concern over loss of view and solar access.	View Loss and Residential Amenity (Solar access) Comments noted. See response above for View Loss and Residential Amenity (Solar access).	No change.
		Concern over traffic congestion in the local area.	Traffic and Parking Comments noted. See response above for traffic and parking.	No change.
4	Yifang Xie and Siwei Yan 30/01/16	Issues raised are the same as in Submission No. 3 above.	Comments noted. See response to Submission No. 3 above.	No change.
5	Ruoxi Li and Ben Guo, Representatives of Poppy, Marigold and Lotus Building Management Committee, 93 Forest Road Hurstville NSW 2220 4/02/16	The submitters raise strong objection to the proposed increase in maximum building height from 40m to 65m and floor space ratio control from 2.5:1 to 3.5:1 for the proposed development. Specific objections relate to: Loss of Characteristics <ul style="list-style-type: none"> The proposed development will lead to congested roads and will affect the quality and lifestyle of its residents, especially during peak hours. Bottlenecks will be created on Forest Road and Treacy Street bridge underpass. The aesthetic value of the area will be strongly impacted as the Poppy Tower, which was meant to be the centerpiece forming the crescendo between Stages 1 and 3 and will lose its importance. 	Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016. Traffic, and Parking See response above for traffic and parking Focal Building E See response above for Focal Building E. Overdevelopment / Overcrowding See response above for Overdevelopment / Overcrowding.	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<ul style="list-style-type: none"> Excessive population density will put further pressure on the already overcrowded Kempt Field. 		
		<p>Traffic Congestion and Children Safety</p> <ul style="list-style-type: none"> The submission notes that the Transport Management and Accessibility Plan (TMAP) undertaken by Council for the Hurstville City Centre illustrates that a number of roads in the Eastern bookend would need improvement based on the 2013-14 population. The traffic modelling for the current development envisages that the junction between Forest Road and Durham Street will be very congested by 2036. The submission requests that Council should ensure that the proposed development will have minimal or no impact on the lifestyles and safety of the current and future residents. As there are a number of schools in the vicinity, the submission requests that any new development will take Children Safety into consideration. 	<p>Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>Traffic and Parking See response above for traffic and parking.</p> <p>Children Safety The issues of pedestrian (and children safety) amenity and safety will be addressed as part of the assessment of the new DA2016/0218 and will be reported to the Sydney South Planning Panel.</p>	No change.
		<p>Noise Pollution Concern is raised regarding noise generated by a number of sources - trains, buses, airplane and specifically the wind noise. The noise is louder on Jack Brabham Drive than Forest Road.</p> <p>Concern is raised that further expansion of the</p>	<p>Acoustic Amenity Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>Consideration of the impacts of noise pollution will be undertaken in the assessment of the new</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		area will increase noise pollution and create negative impact on local residents.	DA2016/0218 and will be addressed in a future assessment report to the Sydney South Planning Panel.	
		<p>Wind Mitigation Concern is raised that in accordance with DCP No 2 Section 6.2.5 Wind Mitigation, a Wind Effect Report (for buildings over 32m) including a Wind Tunnel Test (for buildings over 50m) has not been submitted.</p> <p>Concern is raised about the damaged condition of trees on Jack Brabham Drive due to the effects of strong wind.</p>	<p>Wind Mitigation Comments noted. The DA2015/0274 has been withdrawn.</p> <p>Consideration of the impacts of wind will be undertaken in the assessment of the new DA2016/0218 and will be addressed in a future assessment report to the Sydney South Planning Panel.</p>	No change.
		<p>Building Height Concern is raised that the Applicant has not sought written approval from Sydney Airport Corporation Limited (SACL) - DCP No 2 Section 5.3.4 Building Height requires that any proposed development above 45.72m will require written approval from SACL.</p> <p>Concerns were raised that the heights of the subject buildings are not in accordance with the LEP heights which are 23m for Building X and 40m for Building F.</p>	<p>Building Height - SACL approval Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>SACL has provided initial comment and requested additional information on the proposed height in DA2016/0218. The Applicant and Council are currently providing additional information to SACL in relation to the proposed development's height.</p> <p>Whilst the Applicant has demonstrated that a building height of 65m will not protrude into the OLS, consultation will continue with SACL prior to the matter being considered by Council. The response from SACL will be included in a future Council Report on the Planning Proposal.</p>	<p>The recommended height in the Planning Proposal has been amended:</p> <p>The proposed increase in building height on part of Stage 2 (Building E) from 60m to 65m is not supported, as it is already developed.</p> <p>Refer to the Proposed HOB Map (Recommended) - Attachment 5 to the subject IHAP Report.</p>

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<p>Overshadowing/Loss of View Concern is raised in regards to the complete overshadowing of Kempt Field after 3pm. Children use the park after 3pm and local residents use it after work around 5pm.</p> <p>Concern is raised in regards to 70% of residents living in Marigold and Poppy buildings losing views of Kempt Field and Botany Bay. Only the residents of Stage 3 will have these views.</p> <p>Council is requested to not allow the developer to exploit policies and legislation.</p>	<p>Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>Residential Amenity (overshadowing) and View Loss See response above for Residential Amenity (overshadowing) and View Loss</p>	No change.
		<p>Employment Concern is raised with respect to the very limited commercial businesses, including convenience shopping and other services in the area, even though it has been under development for a number of years. Council should dissuade from approving this proposal.</p>	<p>Proposed retail Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>DA2016/0218 proposes over 4,345m² retail floorspace including approximately 3,445m² identified as a supermarket and 900m² as speciality retail.</p> <p>An Economic Impact Assessment (EIA) submitted as part of the DA2016/0218 notes, 'There is a need for a retail anchor in this location to support the commercial viability of the smaller specialty shops already developed but which have been difficult to let....'</p> <p>'...area requires the equivalent of four new full line</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
			<p><i>supermarkets over the next decade to keep up with demand. The subject proposal will provide just one.'</i></p> <p>The provision of a supermarket in Stage 3 is anticipated to support the 'commercial viability' of 'smaller shops'.</p>	
		Submitters would welcome the opportunity to meet with a representative of the planning department to illustrate the objections in person.	<p>Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>Meeting with East Quarter residents Council acknowledges the issues raised in the submission, however, at this stage, no meeting is planned.</p>	
6	28 residents of the Lotus (Building B), Poppy (Building E) and Marigold (Building A) buildings 4/02/16	These residents concur with all the issues raised by Ruoxi Li and Ben Guo in the previous submission.	<p>Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>Refer to the response for the Submission No. 5 above.</p>	No change.
7	Kelvin Lam 9/02/16	Concern over view loss, specifically to Kempt Field and Botany Bay.	<p>Comments noted. The DA2015/0274 has been withdrawn.</p> <p>View Loss See response above for View Loss.</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		Concern over decrease in property value.	Comments noted. The DA2015/0274 has been withdrawn. Loss of property value See comments above for loss of property value.	No change.
8	Ehab Gerges 10/02/16	Concern is raised regarding over-development and lack of infrastructure upgrades.	Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016. Overdevelopment / Overcrowding See response above for Overdevelopment / Overcrowding. Infrastructure Upgrades The State Government's draft South Subregional Strategy considered the capacity of major roads and the public transport system to accommodate the growth identified for Hurstville being 4,100 dwellings and 3000 jobs by 2031. See response above for Traffic and Parking above for road intersection upgrades.	No change.
		Concern regarding traffic, parking and congestion problems in the local streets.	Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016. Traffic and Parking See response above for traffic and parking.	No change.
9	Jason and Lily	Concern is raised over Privacy (Proposed building	Comments noted. The DA2015/0274 has been	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
	9/02/16	on higher terrain) and Overshadowing (lack of natural light, air and ventilation) issues.	withdrawn. Residential Amenity See response above for Residential Amenity.	
10	Lucy Chang and neighbours 10/02/16	Submission disagrees with the proposed heights and floor space ratio.	Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016. Consideration of the impact of the proposed heights and FSR will be considered in the assessment of the new DA2016/0218 and will be addressed in a future assessment report to the Sydney South Planning Panel.	No change.
		Notes that the limited vacancies at Hurstville Public School and environment of public parks be protected from the increased population pressure.	Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016. The Social Impact Assessment Reports prepared by the Applicant for DA2016/0218 address these concerns.	No change.
		Requests that water views and city views of Stage 1 and 2 apartments should not be reduced.	Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016. View Loss See response above for View Loss.	No change.
11	Mary Zhang	Objects to the proposed high density development	Comments noted. The DA2015/0274 has been	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
	and neighbours 10/02/16	as it will lead to: <ul style="list-style-type: none"> • Overcrowding on trains • Limited public parking spaces • Overcrowding on local schools • Lack of amenity for Kempt Field (surrounded by tall buildings) 	<p>withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>Overdevelopment / Overcrowding See response above for Overdevelopment / Overcrowding.</p> <p>Planning Agreement The Applicant concurs with the need for the amenity of Kempt Field to be improved, and embellishment works are proposed as public benefits in a proposed Planning Agreement with Council. Refer to report for further details.</p>	
		Concern is raised over loss of water views, city view and solar access	<p>View Loss See response above for View Loss.</p>	No change.
		Concern over loss of property values	<p>Loss of Property value See response above for Property value.</p>	No change.
		Would like to attend a meeting with Council and developer if Council organises one to discuss resident concerns.	<p>Meeting with East Quarter residents See response above for Meeting with East Quarter residents.</p>	No change.
12	Michael Chang 10/02/16	Concern regarding overdevelopment in Hurstville. The increasing population will put pressure on: <ul style="list-style-type: none"> • Transportation - crowded trains and difficult to find parking, • Education - Too many students at Hurstville Public School and • Environment - height of buildings surrounding Kempt Field to be restricted to protect the 	<p>Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>Overdevelopment / Overcrowding See response above for Overdevelopment / Overcrowding.</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		environment		
13	Peggy Liang 15/03/16	Concern over the developer's breach relating to the loss of '180 degrees views to the east and north' and that the proposed towers will be 12 floors and not 20 floors.	Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016. View Loss See response above for View Loss.	No change.
		If approved, the proposal will overshadow the bedrooms.	Residential Amenity (overshadowing) See response above for Residential Amenity (overshadowing)	No change.
		The 20 storeys high proposal will lead to overcrowding.	Overdevelopment / Overcrowding See response above for Overdevelopment / Overcrowding.	No change.
		Concern over loss of property value by about \$50,000 due to the view loss and overshadowing.	Loss of Property value See response above for Property value.	No change.
14	Gregory Brownless 27/06/16	Concern over the timing of the commencement of the exhibition - 13 January 2016 when many in the community are away on holidays. Concern over the increase in the height and floor space ratio controls for the subject site that would result in lack of amenity for existing residents: <ul style="list-style-type: none"> The upgrade of the Lily Street Bridge to 4 lanes will not help as the streets feeding onto the bridge have only 2 lanes - Traffic will free up in the 4 lanes on the bridge and then congest when merging back into 2 lanes. 	Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016. It is noted that the Planning Proposal and the Development Application (DA2015/0274) were initially exhibited from 13 January to 10 February 2016. This joint exhibition of the two documents allowed greater detail to be provided when considering the Planning Proposal and was a consultation supported by Council. The public exhibition was planned at this time to meet	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<ul style="list-style-type: none"> No change to the visitor parking rates (from 1 per 4 units to 1 per 6 units) requested - Lack of signage indicating the visitor parking entry is the reason for the underutilised visitor parking currently. Request street parking on the south side of Durham Street between Roberts Lane and Forest Road is subject to a one hour restriction from Monday to Saturday 8 am to 6 pm, thereby ensuring parking turnaround and avoiding monopolisation of parking by East Quarter residents or visitors. 	<p>the initial Gateway deadline of March 2016. It is noted that the 28 Exhibition period did fall outside the school holiday period. The comments raised in the submission (received on 27 June 2016; was outside the exhibition period) are considered below.</p> <p>The issues of visitor parking, signage for visitor parking and parking restrictions will be considered in the future assessment of DA2016/0218 and will be referred to Council's traffic section for investigation.</p> <p>Overdevelopment/ Traffic and Parking See response above for Overdevelopment/ Traffic and Parking.</p>	
15	Gregory Brownless 27/06/16	<p>Concern over disruption of the funeral home business during the previous construction period in terms of:</p> <ul style="list-style-type: none"> breaches of daily working hours breaches of the days of construction dust and dirt blown across from the site on and into the submitter's premises and residence, requiring daily cleaning being woken up at 5am each morning by noisy vehicles and workers arriving to start well prior to the 7am permitted start time and extend till 10pm. refusal of the Private Certifier to take any action against his client no action taken by Council in response to dust storms caused by the developer 	<p>Comments noted. The DA2015/0274 has been withdrawn and replaced with DA2016/0218 which was exhibited from 28 September to 28 October 2016.</p> <p>These issues are related to the development application and will be addressed in a future assessment report to the Sydney South Planning Panel.</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<ul style="list-style-type: none"> not installing water sprinklers on the site to control summer dust street parking on both sides of Durham Street monopolised by construction workers' vehicles <p>The submitter notes that the request from other businesses for a pickoff and drop off zone outside the Scout Hall and a one hour parking restriction was not granted; whilst East Quarter was granted most of their requests. The submitter requests that conditions must be in place and enforced to protect the amenity of the existing businesses, residents and users of Durham Street.</p> <p>The submitter requests the following be maintained:</p> <ul style="list-style-type: none"> Working hours 7am to 5pm Monday to Saturday, with no associated vehicles in Durham Street before 6.45am. No Durham Street parking for associated vehicles (construction workers or tradesmen) No work zone on Durham Street Provision of onsite car parking for workers using both the development site and the visitor parking One hour parking restrictions extended to south side of Durham Street and properly enforced Drop off/pick up zone on Durham Street parallel with the Scout Hall 		

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<ul style="list-style-type: none"> Allowance for the daily cleaning and maintenance of our business premises and residential apartment A plan and guarantee from the applicant concerning the maintenance of our business at its current successful level. 		
<p align="center">JRPP Notification of DA2016/0218 from 1 to 30 September 2016 (9 Submissions)</p> <p>These submissions are in response to the notification of DA2016/0218 (August 2016). DA2016/0218 proposes 556 residential apartments, 4,345m² retail floorspace; including 900m² of specialty retail and 3,685m² of private communal open space, housed in four towers, 9 and 21storeys high.</p>				
1	Chung Nam Chan 13/9/16	<ul style="list-style-type: none"> Concern re Building F (initially planned as a 12 storey building in 03/DA-1046, and increased to 19 storeys proposed in DA2013/0385). Now the proposed building height of 64.6m is a further increase from the previously rejected 60.9m plan. Proposed floor space ratio has again increased from the past proposed 3.24:1 to 3.5:1. This again exceeds the FSR outlined by the LEP, which states the site needs to be kept to a maximum of 2.5:1. Impact on sunlight - As dwelling is east facing, only 3 hours of morning sun is received. If the proposed development is approved, sunlight to dwellings would be drastically reduced. Past shadow analysis of a proposed 19 storey building had shown that surrounding dwellings would lose over 50% of their available sunlight, in comparison to the approved 12 	<p>Comments noted.</p> <p>Focal Building E See response above for Focal Building E.</p> <p>Overcrowding/overdevelopment See response above for Overcrowding/overdevelopment</p> <p>Residential amenity See response above for Residential amenity</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<p>storey building. The current proposal of 21 stories means further loss of sunlight to the surrounding dwellings.</p> <ul style="list-style-type: none"> Views would be obstructed with the proposed height. Given that Council disagrees that view sharing impact was acceptable under the previous proposal, Council should provide reasonable justification as to the reasons for changing its decision. The past proposal was already assessed by Council as an overdevelopment of the site, with no regards for the relevant planning controls. Given that the current DA has failed to address any of the non-compliant issues, the submitter hopes that this DA would be thoroughly assessed. 	<p>View loss See response above for view loss</p>	
2	Alan Hage 16/9/16	<ul style="list-style-type: none"> Parking – free underground parking should be provided to support the retail space of this development as well as visitor parking. Parking limits should be placed on Durham Street to help local businesses in particular the funeral home. 	<p>Comments noted. These issues are related to the development application and will be addressed in a future assessment report to the Sydney South Planning Panel.</p>	No change.
3	Suyan Jin 19/9/16	<ul style="list-style-type: none"> If building height at 40m was already rejected, why have another proposal at 60, then 65m and now for even higher at 21 storeys? Sunlight for all the units in Poppy and Marigold facing East will be severely impacted. Many of these units are one bed room apartments with only ONE aspect so if it is blocked, there is no 	<p>Focal Building E See response above for Focal Building E. Residential amenity See response above for Residential amenity</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<p>other source of sunlight. Additionally, there will be another 60m building across the road on the corner of Durham and Robert Lane that is being proposed, which will block out north sun and view.</p> <ul style="list-style-type: none"> • Retail related reasons for proposed increase in units and height are invalid - Currently East Quarter retail spaces are empty. • Road traffic - Traffic congestion with locals having problems exiting the car park. • Submitter feels deceived - bought apartments based on the concept design, these major increases to height are unjustified. Poppy will lose its position as a landmark. The overall look of the entire area will be unattractive; the units are will be hard to resell. There is an oversupply of residential developments in Hurstville already. • Height of the new buildings – we strongly object to 21 storeys. Developers need to adhere to the maximum height what is the point of having maximum requirements or laws even when councils can extend it to fit a new proposal? • If views are lost, then lifestyle will be severely impacted. • Councils should protect the basic lifestyle rights of their current citizens over commercial reasons. Will the developer compensate for the loss of lifestyle and property values? 	<p>Proposed Retail See response above for proposed retail</p> <p>Traffic and Parking See response above for Traffic and Parking</p> <p>View loss See response above for view loss</p> <p>Design Issues See response above for Design issues.</p> <p>Loss of Property Value See response above for Property Value</p>	

	Name	Summary of Submission	Response	Planning Proposal Recommendation
4	Yuan Hiep Mai 22/9/16	<ul style="list-style-type: none"> The proposed building height does not comply with current local guidelines. It will be detrimental to the comfort of both adjacent residents and also the general public who currently use Kempt Field Park. For the residents residing at 99 Forest Road (Marigold and Poppy buildings), privacy is a major concern with the proposed four buildings being metres away from these buildings. Current views (City and Botany Bay) would be obstructed for residents residing in both Marigold and Poppy on levels 6 and above. The original approval for 93 Forest Road - complied with heights of 23metres and 40metres respectively. The proposed FSR is significantly higher than the current FSR in the LEP. 	<p>Comments noted.</p> <p>Overcrowding/overdevelopment See response above for Overcrowding / overdevelopment</p> <p>Residential amenity See response above for Residential amenity</p> <p>View loss See response above for view loss</p>	No change.
5	Angela Ng 29/9/16	<ul style="list-style-type: none"> The existing infrastructure and services in the area are unable to cope with the addition of 556 residential units in this development. Traffic along Forest Road, Railway Parade and intersection of The Avenue & Treacy Street will be adversely affected. Hurstville Public School will not have sufficient primary school placements for the new residents. There is no allocation of area for a new public park or reserve. The new shopping precinct and extension of Jack Brabham Drive along 	<p>Comments noted.</p> <p>Infrastructure issues See response above for Infrastructure Issues</p> <p>Traffic and Parking See response above for Traffic and Parking</p> <p>Design Issues See response above for Design Issues.</p> <p>Planning Agreement</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<p>the rail track will increase the usage of Kempt Field by both visitors and local residents.</p> <ul style="list-style-type: none"> The extended business hours (7am - 12am, seven days per week) of the proposed supermarket and liquor store will attract undesirable loitering and vandalism in the neighbourhood. The metallic look of the residential towers with bronze glazing is not in harmony with the design of the rest of the East Quarter precinct. 	The Applicant concurs with the need for the amenity of Kempt Field to be improved, and embellishment works are proposed as public benefits in a proposed Planning Agreement with Council. Refer to report for further details.	
6	Pamela Pau 30/9/16	Reduction of car parking spaces for residential visitor parking from 139 to 78 was based on 3 year old data. An updated traffic assessment needs to be completed to confirm current parking demands.	<p>Comments noted.</p> <p>Traffic and Parking See response above for Traffic and Parking</p>	No change.
7	Lucy Chang and Neighbours 30/9/16	Raises the same issues as their previous submission (refer Submission No. 10 to the First Public Exhibition)	Refer response to Submission No. 10 to the First Public Exhibition	No change.
8	Michael Chang 30/9/16	<p>Raises issues of overdevelopment, pressure on transportation, education, environment, overdevelopment near Kempt Field as in Submission No. 12 to the first exhibition.</p> <p>Additionally, the submission requests that Council should retain the FSR of 2.5:1 and building height of 23m, 40m and 60m for the East Quarter site.</p>	Refer response to Submission No. 12 to the First Public Exhibition	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
9	Mary Zhang and Neighbours 30/9/16	The submission strongly objects to the proposed development of DA2016/0218 and requests Council to adhere to the approved heights and FSR for the subject site. The submission raises similar issues as their previous submission (refer Submission No. 11 to the First Public Exhibition above).	Refer response to Submission No. 11 to the First Public Exhibition	No change.
<p style="text-align: center;">Joint Public Exhibition 28 September to 28 October 2016 (10 Submissions)</p> <p>These submissions are in response to the joint exhibition of PP2014/0003 (August 2016) and DA2016/0218 (August 2016). DA2016/0218 proposes 556 residential apartments, 4,345m² retail floorspace including 900m² of specialty retail and 3,685m² of private communal open space, housed in four towers, 9 and 21storeys high.</p>				
1	Cuizhen Sun 4/10/16	The submission raises an objection to the height of the proposed development – are under the assumption that the developers have been promised their building will be the highest in St George when they bought their property.	Comments noted. Focal Building E See response above for Focal Building E.	No change.
2	Suyan Jin 2/10/16	Major Concerns: - too many high rise buildings, there will now be 4 buildings instead of 2 exceeding 20 storeys, leading to a crowded community. - In spite of new roundabout and traffics lights, these changes will not improve the condition. - The agents stated that they are confident that council will approve as the developers invested in road developments and landscaping. Submitter not sure if all the objections/submissions will be looked at if decision has already been made?	Comments noted. Traffic and Parking See response above for Traffic and Parking Design Issues See response above for Design Issues.	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<p>-If building height at 40m was previously rejected, why have another proposal at 60, then 65m? This is wasting everyone's time and challenging the council's integrity.</p> <p>Other issues detailed are a duplicate of Submission No. 3 to the JRPP notification of the DA above. The submitter recommends:</p> <ul style="list-style-type: none"> • Keep the apartment design under 40m, restricted to only two apartment buildings; not four, • Retain the original FSR 2.5:1, • Preserve the residents' safety, security, solar access and privacy. • Translate all the notices into other common local languages to avoid discrimination. 	<p>Georges River Council's letter template includes in its footer a contact number for "Language Assistance" which residents are able to contact for interpretation services in their language</p>	
3	Suyan Jin 2/10/16	Submission is a duplicate of the above.	<p>Comments noted.</p> <p>See response to Submission 2 above.</p>	No change.
4	Yuan Mei 11/10/16	<p>The submission objects to the increase in the FSR from 2.5:1 to 3.5:1. The reasons include:</p> <ul style="list-style-type: none"> • The facilities around the area can't support the increased population (200 more families), the Hurstville public school is already overcrowded and is struggling to provide places for all the school age children now, with 	<p>Comments noted.</p> <p>See response to Submission 1 above.</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<p>200 more families than previously planned. This will compromise the education quality.</p> <ul style="list-style-type: none"> The area doesn't have enough facilities like parks and playgrounds - Kempt field is already very crowded. <p>Submitter has also lodged submission to the first joint public exhibition.</p>		
5	<p>Daniel Ngo 1605/2 Jack Brabham Drive Hurstville 11/10/16</p>	<p>The submitter objects to the new development, especially in relation to the building height and notes that the current development raises a number of issues, especially in relation to apartments facing east at 2 Jack Brabham Drive:</p> <ul style="list-style-type: none"> - Market Value - The main feature/aspect of the apartments facing east is the view, which enhances the market value of those apartments. A new 24 level located only about 20-30 metres directly in front of the building depreciates the market value of the residents of 2 Jack Brabham Drive. - Sunlight Blocked - the majority of the apartments facing east (i.e. almost 1/3 of the building residents are affected) may only have 1 side of window. This new development will completely block all the 	<p>Comments noted.</p> <p>Loss of Property value See response above</p> <p>Residential Amenity See response above</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<p>sunlight into some apartments.</p> <p>- Traffic Congestion – The traffic at the start of Jack Brabham drive is already a major issue as it links to the roads on forest road and also under the bridge. More apartments in this area will severely increase the overall congestion in Hurstville.</p> <p>The submitter notes there were no known development plans at that time of purchasing the subject land. It was bought at a premium due to its views; and now a 24-storey building will be built right in front blocking the views.</p>	<p>Traffic and Parking See response above</p> <p>The Planning Proposal includes a maximum height of 65m on the site of proposed Building F, which equates to up to 21 storeys, in the current DA2016/0218.</p>	
6	Yuentian Zhang 28/10/16	<p>As residents of East Quarter, the submitter objects to the DA2016/0218 (PP2014/0002 Planning Proposal), especially the building extension as it will adversely affect the existing residents:</p> <ol style="list-style-type: none"> 1. There would be no privacy once the new buildings are constructed, because the distance is already close enough, people can see each other's rooms. 2. The new development is not adequately ventilated. 	<p>Comments noted.</p> <p>Residential Amenity See response above</p> <p>Loss of Property value See response above</p>	No change.


	Name	Summary of Submission	Response	Planning Proposal Recommendation
		<p>3. The new development will block the sun light.</p> <p>4. The new development will be built on higher terrain - it will adversely affect existing buildings.</p> <p>5. The submitter believes one of the reasons that the first the DA to get rejected was, its adverse effects on the residential amenity of the surroundings.</p>		
7	Mary Zhang and neighbours 28/10/16	<p>Submission strongly objects to DA2016/0218</p> <p>Copy of Submission No. 11 to the first exhibition.</p>	<p>Comments noted.</p> <p>See response to Submission No. 11 to the first exhibition.</p>	No change.
8	Lucy Chang and neighbours - Hurstville residents 28/10/16	<p>Copy of Submission No. 10 to the first exhibition.</p> <p>See summary above.</p>	<p>Comments noted.</p> <p>See response to Submission No. 10 to the first exhibition.</p>	No change.
9	Michael Chang 28/10/16	<p>Copy of Submission No. 12 to the first exhibition.</p> <p>See summary above.</p>	<p>Comments noted.</p> <p>See response to Submission No. 12 to the first exhibition.</p>	No change.
10	Lily Shi 28/10/16	<p>Copy of Submission No. 6 to the second exhibition.</p> <p>Additionally, it raises problems related to traffic</p>	<p>Comments noted.</p> <p>See response to Submission No. 6 to the second exhibition.</p>	No change.

	Name	Summary of Submission	Response	Planning Proposal Recommendation
		and parking.	Traffic and Parking See comments above for traffic and parking.	

Attachment 2: Summary of Public Authority Submissions to the Public Exhibition of the Planning Proposal and Development Application for 'East Quarter' site at 93-103 Forest Road Hurstville – (10 Submissions)

	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
<p align="center">Joint Public Exhibition 13 January to 10 February 2016 (6 Submissions)</p> <p>These submissions are in response to the joint exhibition of PP2014/0003 (September 2014) and DA2015/0274 (July 2015). DA2015/0274 proposed 379 residential apartments and 4,735m² commercial floorspace including a 3,600m² supermarket, housed in two towers, 7 and 18 storeys high. DA2015/0274 was <u>withdrawn</u> on 12 August 2016 and a new DA (DA2016/0218) and a revised Planning Proposal were lodged on the same day (refer below). These documents were exhibited at later dates and submissions received are presented further in this table.</p>				
1	Roads and Maritime Services (3 submissions) 9/02/16	Roads and Maritime Services (RMS) has reviewed the Planning Proposal to amend the planning controls for the subject site and raises no objection, as the proposed amendments will not have a significant traffic impact on the classified arterial road network.	<p>Comments noted. DA2015/0274 has been withdrawn and a revised Planning Proposal (August 2016) and a new DA (DA2016/0218) has been lodged in August 2016. It is noted that the revised Planning Proposal (August 2016) requests the same amendments to Hurstville LEP 2012 as the original Planning Proposal (September 2014).</p> <p>The traffic impacts of DA2016/0218 will be addressed during the assessment of the DA and addressed to a future report to the Sydney South Planning Panel.</p>	No change.
		RMS notes that the Applicant proposes traffic control signals at the Forest Road/Durham Street/Wright Street intersection, which requires approval of RMS under Section 87 of the Roads Act, 1993.	<p>Comments noted. DA2015/0274 has been withdrawn and a revised Planning Proposal (August 2016) and a new DA (DA2016/0218) has been lodged in</p>	No change.

Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
Roads and Maritime Services	<p>In this regard, any approval to the provision of traffic signals is subject to the following requirements being satisfied, prior to the determination of any future development application lodged for the subject site, post gazettal of the subject planning proposal:</p> <ul style="list-style-type: none"> • Submission of traffic analysis demonstrating that the provision of traffic signals complies with the warrant criteria as outlined in the Roads and Maritime Traffic Signal Design Guide - Section 2 (Warrants). • Electronic copies of the intersection modelling supporting the layout and phasing of the proposed signalised intersection. • Geometric concept design of the proposed signalised intersection overlayed on a survey plan to ensure that the footprint of the intersection layout can be accommodated within the existing road reserve. 	<p>August 2016.</p> <p>The Applicant has provided a traffic statement and SIDRA modelling in relation to the new DA2016/0218 to address the RMS requirements which has been forwarded to RMS for their consideration.</p> <p>The impacts of increased traffic will be considered in the assessment of the new DA2016/0218 and will be addressed in the assessment report to the Sydney South Planning Panel.</p> <p>Council's traffic modelling and engineers have identified the need for a range of traffic management measures to manage future traffic loads, including the need for traffic signals at the Durham Street and Forest Road intersection.</p> <p>The Applicant concurs with the need for upgrade works and traffic signals at this intersection, and these are proposed as public benefits in a proposed Planning Agreement with Council. Refer to report for further details.</p> <p>Comments noted.</p>	No change.
	RMS has previously dedicated a strip of land as road along the Forest Road frontage of the subject		

	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
	14/4/16	<p>property, as shown by grey colour on the Aerial below. Therefore, all buildings and structures are clear of the Forest Road, road reserve (unlimited in height or depth).</p> 	<p>This is an existing land dedication and does not relate to Stage 3 height and FSR increases in the Planning Proposal.</p> <p>The assessment of DA2016/0218 will consider the subject site and surrounding land including the land dedication on Forest Road.</p>	
	Roads and Maritime Services 14/4/16	<p>The RMS raises same issue as Submission No.1 above.</p>	Refer to response to Submission No. 1 above.	No change.
2	<p>Transport for NSW (TfNSW) - two submissions</p> <p>15/02/16</p>	<p>Proposed Forest Road/Durham Street/Wright Street Intersection Arrangement</p> <p>TfNSW note that the proposed upgrade of the Forest Road/Durham Street/Wright Street intersection includes signalisation of the intersection with provision of additional traffic lanes.</p> <p>TfNSW note that Forest Road and Durham Street are regular bus routes and no detailed information</p>	<p>Comments noted. DA2015/0274 has been withdrawn and DA2016/0218 has been lodged in August 2016.</p> <p>The Applicant has provided a traffic statement and SIDRA modelling in relation to the new DA2016/0218 to address the RMS requirements</p>	No change.

	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
		<p>has been provided in the planning proposal to assess the performance and the feasibility of the proposed intersection arrangement.</p> <p>TfNSW requests that the Applicant provides detailed information in relation to the proposed intersection upgrade, in particular:</p> <ul style="list-style-type: none"> Proposed phasing arrangements; Detailed SIDRA output; Proposed intersection arrangement overlaid on an aerial map; and Confirmation that the proposed intersection arrangement caters bus movements along Forest Road and Durham Street. <p>Road Safety Audit for the Forest Road/Durham Street/Wright Street Intersection Upgrade</p> <p>TfNSW note that the earlier a project is audited the more likely that the road safety issues or risks identified can be significantly reduced or eliminated. This would have the potential to reduce costly treatments at later stages of the project.</p> <p>Therefore, TfNSW requests that a Stage 2 (Concept Plan) Road Safety Audit be carried out for the proposed Forest Road/Durham Street/Wright Street intersection design in accordance with Austroads <i>Guide to Road Safety Part 6: Road Safety Audit</i>, by a TfNSW accredited road safety auditor.</p> <p>Based on the results of the road safety audit, the applicant needs to review the design drawings and implement safety measures as required.</p>	<p>which has been forwarded to RMS for their consideration.</p> <p>The impacts of increased traffic will be considered in the assessment of the new DA2016/0218 and will be addressed in the assessment report to the Sydney South Planning Panel.</p> <p>Refer to response to submission No. 1 from RMS above.</p> <p>Comments noted. DA2015/0274 has been withdrawn and DA2016/0218 has been lodged in August 2016.</p> <p>These issues are related to DA2016/0218 and the design of the Forest Road/Durham Street Intersection and will be addressed in a future assessment report to the Sydney South Planning Panel.</p>	<p>No change.</p>

	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
		<p>Pedestrian and Cyclists TfNSW note that the traffic report prepared to support the planning proposal includes limited information in relation to pedestrian and cyclists.</p> <p>TfNSW requests that the traffic report for the development application includes the following:</p> <ul style="list-style-type: none"> • Provision of bicycle parking and end of trip facilities for pedestrian and cyclists in accordance with Hurstville City Council development control plans, standards and guideline documents; • Provision of bicycle facilities in secure, convenient, accessible areas close to the main entries incorporating adequate lighting and passive surveillance and in accordance with Austroads guidelines; • Details of connectivity, safety and accessibility for pedestrians and bicycle riders to existing pedestrian and bicycle networks/road networks and public transport; and • Details of wayfinding strategies and travel access guides to assist with increasing the mode share of walking and cycling. 	<p>Comments noted. DA2015/0274 has been withdrawn and DA2016/0218 has been lodged in August 2016.</p> <p>These issues are related to DA2016/0218 and will be addressed in a future assessment report to the Sydney South Planning Panel.</p>	No change.
	<p>Transport for NSW (TfNSW)</p> <p>14/03/16</p>	<p>TfNSW were requested to comment on the updated traffic and parking impact report prepared by GTA consultants (8 December 2015).</p> <p>TfNSW advised that the report did not address the issues raised by TfNSW in their submission dated</p>	See response to Submission Nos. 1 and 2 above.	No change.

	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
		15 Feb 2016 and has no further comment of the planning proposal.		
3	NSW Transport – Sydney Trains - 2 submissions 19/02/16	Sydney Trains have no objection to the Planning Proposal. Sydney Trains will deal with issues related to the development as part of the concurrence review under <i>Clause 86 of the State Environmental Planning Policy (Infrastructure) 2007</i> .	Comments noted. DA2015/0274 has been withdrawn and DA2016/0218 has been lodged in August 2016	No change.
	Sydney Trains 3/03/16	Sydney Trains notes that the submission has gone to TfNSW, who are the appropriate authority to respond to this.	Comments noted.	No change.
4	Former Kogarah Council 16/02/16	Former Kogarah Council have advised that they will not be making a submission with respect to the Planning Proposal for the East Quarter Development.	Comments noted.	No change.
5	Sydney Airport 19/02/16	<ul style="list-style-type: none"> Sydney Airport have no objection to the erection of the East Quarter development to a maximum height of 120.0 metres AHD (The height of the prescribed airspace at this location is 122 metres above AHD). If the development exceeds this height, a new application is required to be submitted. Should the height of any temporary structure and/or equipment be greater than 15.24 metres AEGH, a new approval must be sought in accordance with the Civil Aviation (Buildings Control) Regulations Statutory Rules 1988 No. 161. Construction cranes may be required to operate 	<p>Comments noted. DA2015/0274 has been withdrawn and DA2016/0218 has been lodged in August 2016.</p> <p>Refer to response to Submission No. 1 to the notification of DA2016/0218 (1 September to 30 September 2016) below.</p>	Refer to Planning Proposal recommendation to Submission No. 1 to the notification of DA2016/0218 (from 1 September to 30 September 2016) below.

	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
		<p>at a height significantly higher than that of the proposed controlled activity and approval to operate this equipment should be obtained prior to any commitment to construct under the Airports (Protection of Airspace) Regulations.</p> <p><u>Planning for Aircraft Noise and Public Safety Zones</u> Current planning provisions (s.117 Direction 3.5 Development Near Licensed Aerodromes) for the assessment of aircraft noise for certain land uses are based on the Australian Noise Exposure Forecast (ANEF). The current ANEF for which Council may use as the land use planning tool for Sydney Airport was endorsed by Airservices in December 2012 (Sydney Airport 2033 ANEF).</p> <p>Whilst there are currently no national aviation standards relating to defining public safety areas beyond the airport boundary, it is recommended that proposed land uses which have high population densities should be avoided.</p>		
6	Ausgrid 2/03/16	<p>Environmental considerations Ausgrid require that consideration be given to the compatibility of proposed developments with existing Ausgrid infrastructure, particularly in relation to risks of electrocution, fire risks, electric and magnetic fields (EMF), noise, visual amenity and other matters that may impact on Ausgrid or the development.</p> <p>Proposal considerations The most cost-effective option to mitigate</p>	<p>Comments noted. DA2015/0274 has been withdrawn and DA2016/0218 has been lodged in August 2016.</p> <p>These issues are related to DA2016/0218 and will be addressed in a future assessment report to the Sydney South Planning Panel.</p>	No change.

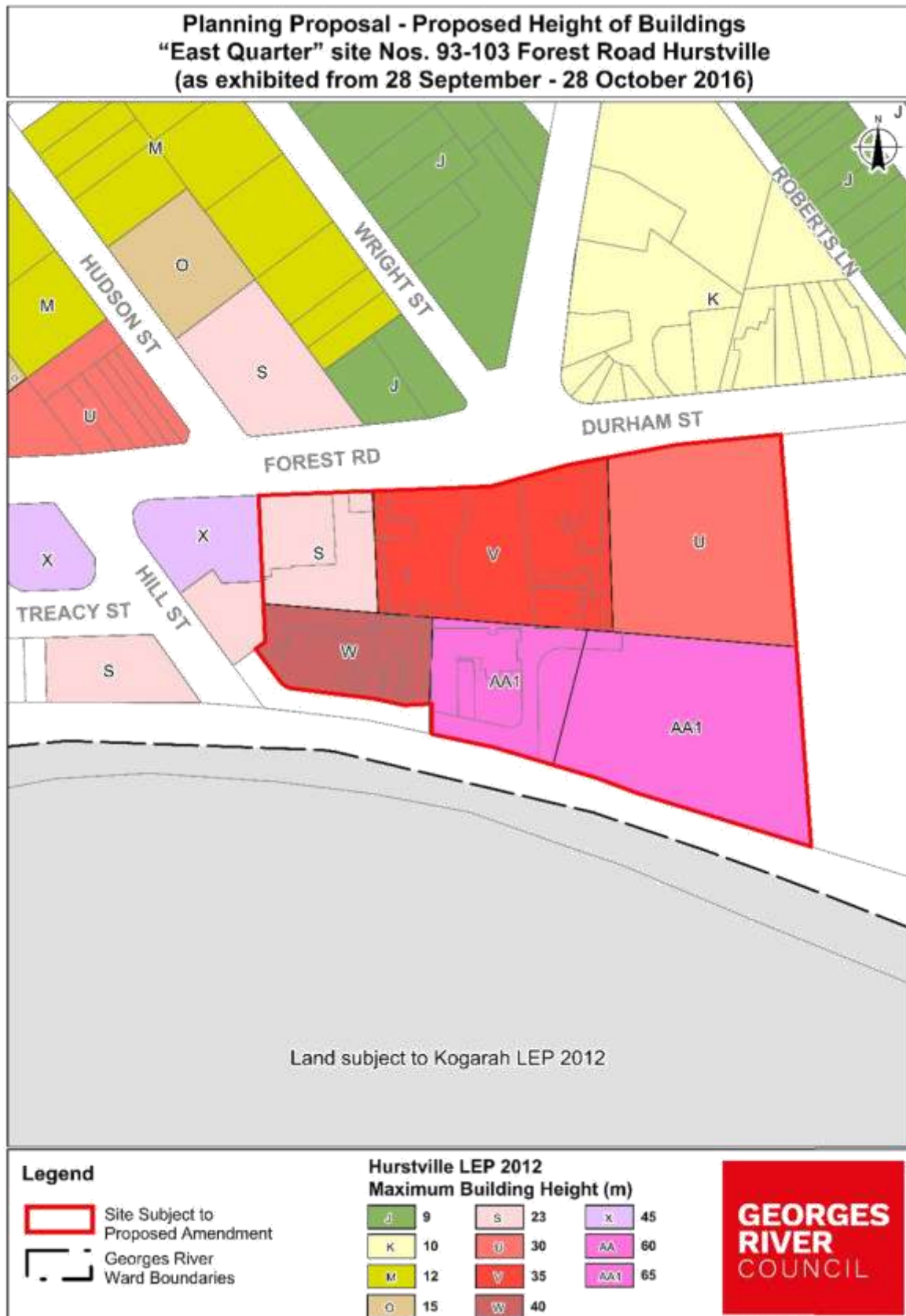
	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
		<p>environmental impacts is the modification of the proposed development early in the assessment process by measures like appropriate buffer distances, screening structures, building design, orientation and construction.</p> <p>Conditions of approval Where Council considers that the site of the development is suitable and the development comprises or involves a type identified in the Ausgrid submission, Ausgrid has provided appropriate development consent conditions to be imposed to ensure the safety and compatibility of both the development and Ausgrid's assets.</p>		
<p align="center">JRPP Notification of DA2016/0218 from 1 September to 30 September 2016 (1 Submission)</p> <p>This submission is in response to the notification of DA2016/0218 (August 2016). DA2016/0218 proposes 556 residential apartments, 4,345m² retail floorspace; including 900m² of speciality retail and 3,685m² of private communal open space, housed in four towers, 9 and 21 storeys high.</p>				
1	<p>Sydney Airport</p> <p>19/09/16</p>	<p>Sydney Airport notes that the increase in height of the proposed development will penetrate protected airspace.</p> <p>Sydney Airport has requested the footprint of the proposed development set out in MGA94 coordinates.</p>	<p>Comments noted. The DA2015/0274 has been withdrawn.</p> <p>Sydney Airport has provided initial comment and a request for additional information and clarification on the proposed building height in DA2016/0218. The Applicant and Council are currently providing additional information to Sydney Airport in relation to the proposed</p>	<p>The existing maximum building height of 60m on part of Stage 2 of the East Quarter site is retained, as it is already developed.</p> <p>Refer to the Proposed HOB Map (Recommended) - Attachment 5 to the IHAP Report.</p>

	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
			development's height. Whilst the Applicant has demonstrated that a building height of 65m will not protrude into the OLS, consultation will continue with SACL prior to the matter being considered by Council. The response from SACL will be included in the future Council Report on the Planning Proposal.	
<p align="center">Public Exhibition 28 September to 28 October 2016 (3 Submissions)</p> <p>These submissions are in response to the joint exhibition of PP2014/0003 (August 2016) and DA2016/0218 (August 2016). DA2016/0218 proposes 556 residential apartments, 4,345m² retail floorspace; including 900m² of speciality retail and 3,685m² of private communal open space, housed in four towers, 9 and 21 storeys high.</p>				
1	Ausgrid 29/09/16	<p>Supply of Electricity Ausgrid recommends that the nominated electrical consultant/contractor should provide a Preliminary Enquiry to Ausgrid to obtain advice for the connection of the proposed development to the adjacent electricity network infrastructure. An assessment will be carried out based on the enquiry which may include whether or not: the existing network can support the expected electrical load of the development; a substation may be required on-site, either a pad mount kiosk or chamber; and site conditions or other issues.</p> <p>Method of Electricity Connection The method of connection will be in line with</p>	<p>Comments noted.</p> <p>These issues are related to DA2016/0218 and will be addressed in a future assessment report to the Sydney South Planning Panel.</p>	No change.

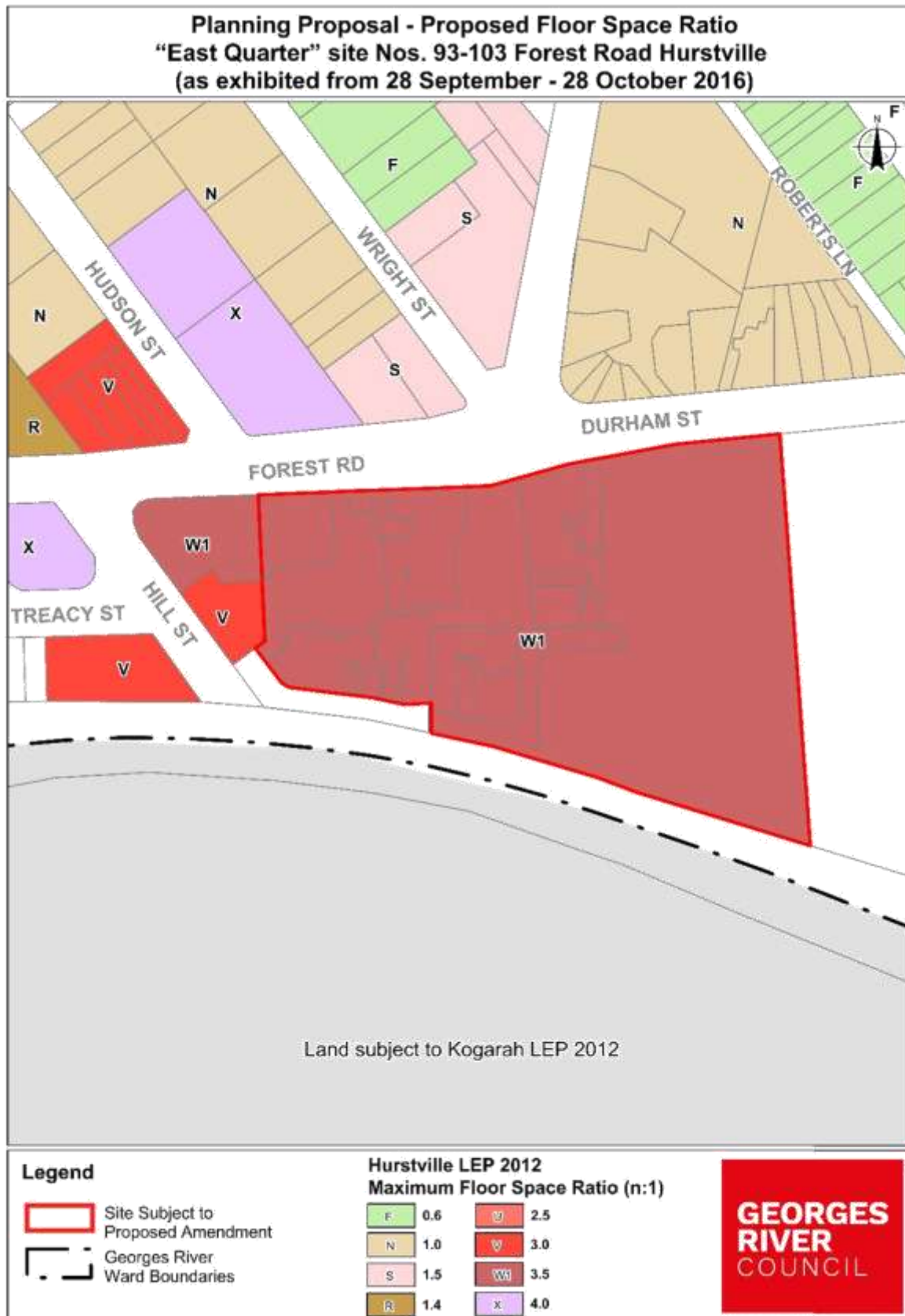
	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
		<p>Ausgrid's Electrical Standard (ES)1 'Premise Connection Requirements.</p> <p>Conduit Installation The need for additional electricity conduits in the footway adjacent to the development will be assessed and documented in Ausgrid's Design Information, used to prepare the connection project design.</p> <p>Proximity to Existing Network Assets There are existing underground and overhead electricity network assets in Durham Street adjacent to the proposed development. Safework NSW Document – Work Near Overhead Powerlines: Code of Practice outlines the minimum safety separation requirements between these mains/poles to structures within the development throughout the construction process. It is a statutory requirement that these distances be maintained throughout construction.</p> <p>Special consideration should be given the locating and operations of cranes and the location of any scaffolding.</p>		
2	RMS 27/09/16	<p>Roads and Maritime (RMS) has reviewed the submission and requires the following additional information for assessment:</p> <p>1. RMS understands that the development proposes the installation of traffic signals at Forest Road/Durham Street which will require</p>	<p>Comments noted. The comments are similar to the comments in Submission No. 1 to the first exhibition above.</p> <p>See response to Submission No. 1 to the first exhibition above.</p>	No change.

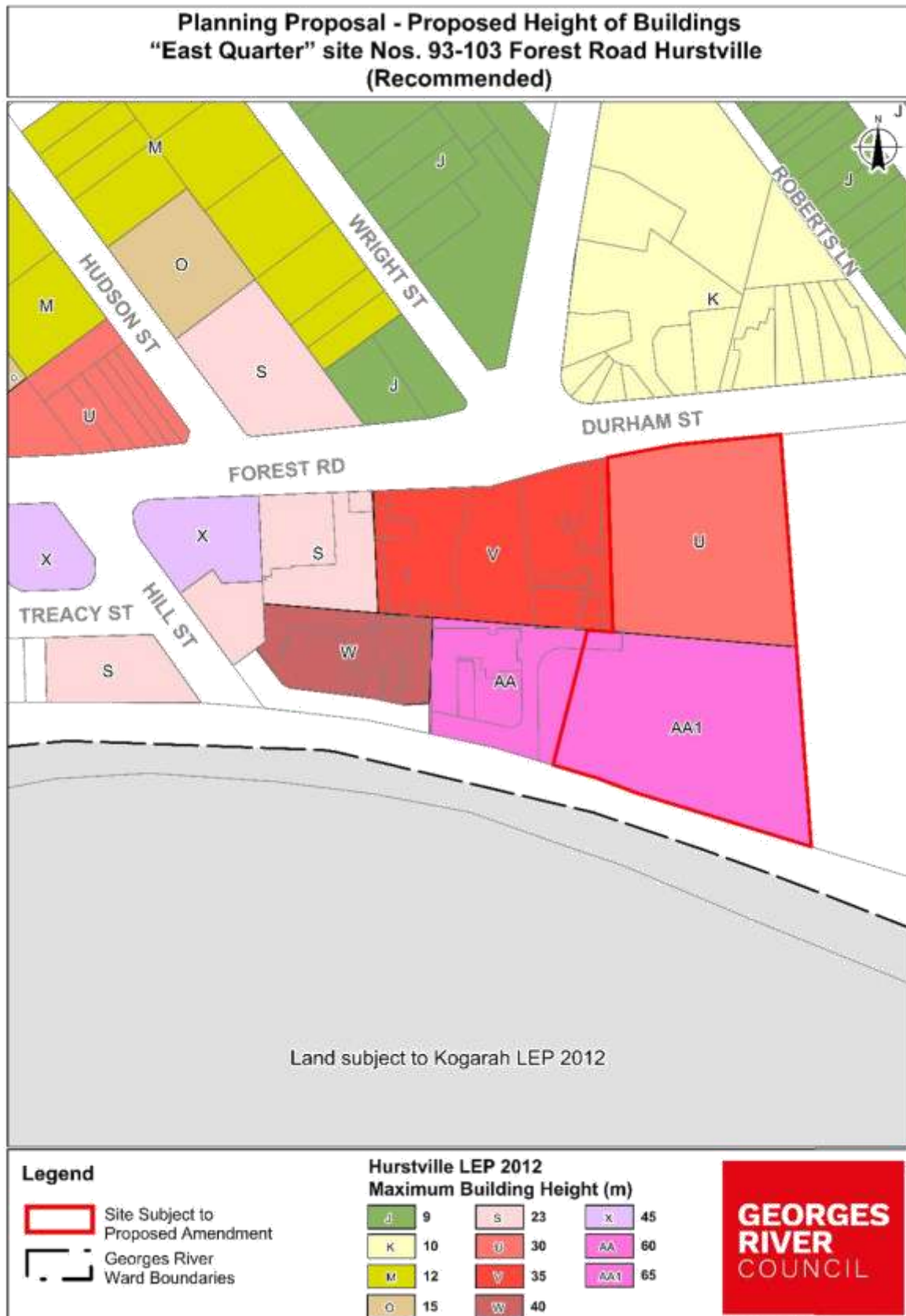
	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
		<p>Section 87 Consent under the Roads Act 1993 from Roads and Maritime. In this regard, RMS requires the following:</p> <ol style="list-style-type: none"> The installation of a traffic control light is dependent on general warrants in accordance with Roads and Maritime requirements for Traffic Signal Design – Section 2 Warrants. Therefore Traffic signals warrants must be met and demonstrated. Concept plan of the proposed traffic signals (including swept paths) to be submitted. Sidra Modelling files. (modelling shall also factor in Roundabout access into the site off Durham Street) <p>2. SIDRA Traffic modelling shall include base case and post development scenario.</p> <p>Upon receipt of the abovementioned information, RMS will resume assessment of the application and provide a response accordingly.</p>		
3	TfNSW (2 submissions) 27/10/16	<p>TfNSW noted that in their submission dated 15 February 2016, TfNSW had raised that a Road Safety Audit for the Forest Road/Durham Street/Wright Street Intersection Upgrade needs to be undertaken. Based on the initial review of the applicant's response, TfNSW note no information is provided in relation to Road Safety Audit.</p>	<p>Comments noted. The comments are similar to the comments in Submission No. 2 to the first exhibition above.</p> <p>See comments to Submission No. 2 to the first exhibition above.</p>	No change.

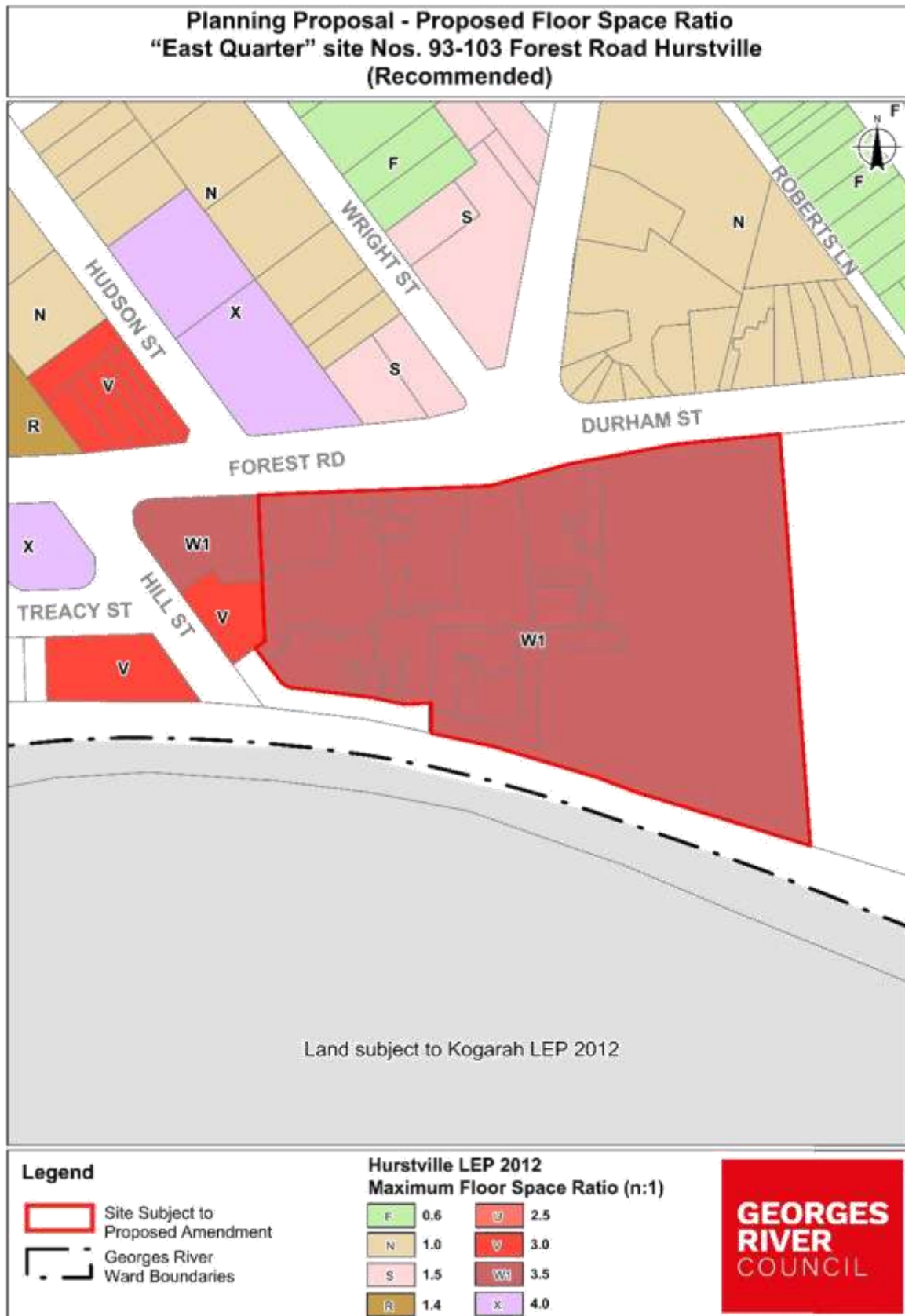
	Public Authority	Summary of Submission	Response	Planning Proposal Recommendation
		TfNSW request Council to send the applicant's response and SIDRA files to RMS as RMS needs to approve traffic signals at the Forest Road/Durham Street/Wright Street Intersection.		
	TfNSW 31/10/16	<p>TfNSW has provided comments on the bus turning path analysis at the Forest Road/Durham Street/Wright Street Intersection:</p> <ul style="list-style-type: none"> Swept path analysis needs to be undertaken for 14.5m long rigid bus, in accordance with Austroads Guidelines. 3.5m wide travel lanes need to be provided for the Durham Road approach. 	<p>Comments noted.</p> <p>These issues are related to DA2016/0218 and the design of the Forest Road/Durham Street/Wright Street intersection, and will be addressed in a future assessment report to the Sydney South Planning Panel.</p>	No change.



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REPORT TO GEORGES RIVER COUNCIL IHAP MEETING OF THURSDAY, 24 NOVEMBER 2016

IHAP Report No	3.4	Development Application No	DA2016/0026
Site Address & Ward Locality	35-39 Ocean Street, Kogarah Kogarah Bay Ward		
Proposal	Demolition of existing dwellings and construction of multi-dwelling housing development with basement parking and strata subdivision		
Report Author/s	Development Assessment Officer, Bernard Moroz		
Owners	Mr M Briglia		
Applicant	Mr W. Karavelas		
Zoning	R3-Medium Density Residential under KLEP 2012		
Date Of Lodgement	18/02/2016		
Submissions	Five (5)		
Cost of Works	\$2,400,000.00		
Reason for Referral to IHAP	Non-compliance, not sympathetic to the character of the Kogarah South Heritage Conservation area and proposal is contrary to the sites future direction as outlined in the New City Plan.		

Recommendation	That the application be refused subject to the reasons outlined in the report.
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Site Plan



Executive Summary

Proposal

1. Council is in receipt of an application for demolition of the existing dwellings at 35-39 Ocean Street, Kogarah and the construction of a multi-dwelling housing development with basement parking and strata subdivision on the subject site.

Site and Locality

2. The subject site comprises of three allotments and is located on the south-western side of Ocean Street. The site presents an overall frontage width of 36.57m, side boundary widths of 36.57m resulting in an overall site area of 1337m².

Zoning and KLEP 2012 Compliance

3. The site is zoned R3-Medium Density Residential under KLEP 2012. The proposal is currently a permissible form of development. The proposal does not satisfy Clause 5.10 (Heritage Conservation) as contained within KLEP 2012 as it does not appropriately respond to and conserve the heritage significance of the conservation area and the environmental heritage of Kogarah.

Kogarah Development Control Plan 2013 (KDCP 2013)

4. The proposed development does not comply with Councils controls for front and side setbacks, private open space and impervious area.

Submissions

5. The application was neighbour notified on two separate periods. During the second stage of notification in which potentially affected neighbours were invited to comment on the plan amendments, three submissions were received raising concern to privacy, shadowing, incompatibility with New City Plan rezoning, heritage impacts, increase in noise levels and DCP non-compliances.

Conclusion

6. Having regard to the Heads of Consideration under Section 79C (1) of the Environmental Planning and Assessment Act 1979 and following a detailed assessment of the proposal Development Application No. 26/2016 should be refused for the following reasons:
 - The proposed development is contrary to the sites future direction as outlined in New City Plan which includes the rezoning of numbers 13-57 Ocean Street, Kogarah from R3 – Medium Density Residential to R2 – Low Density Residential as the area is within the Kogarah South Heritage Conservation Area.
 - The proposal does not satisfy the objectives of Clause 5.10 (Heritage Conservation) of KLEP 2012 as it does not appropriately respond to and conserve the heritage significance of the conservation area and the environmental heritage of Kogarah.

- The proposal is not sympathetic to the character of the Kogarah South Heritage Conservation Area as it does not complement the scale, form, materials, colours, and general appearance of existing original buildings and landscape features in the streetscape, and will not preserve and be sympathetic with those special qualities which define the historic character of the locality.
- The proposal fails to comply with the DCP controls related to front and side setbacks, private open space and impervious area.

Report in Full

Proposal

7. Council is in receipt of an application for demolition of the existing dwellings at 35-39 Ocean Street, Kogarah and the construction of a multi-dwelling housing development with basement parking and strata subdivision on the subject site.

The Site and Locality

8. The subject site comprises of three allotments and is located on the south-western side of Ocean Street. The site presents an overall frontage width of 36.57m, side boundary widths of 36.57m and overall site area of 1337m². Existing on the site are two single storey weatherboard cottages and a single storey brick dwelling with ancillary fibro garage and shed.
9. The subject site is located within the Kogarah South Heritage Conservation Area. The Kogarah South Heritage Conservation Area is associated with the first wave of residential development in the railway suburbs of the Kogarah district.
10. The precinct possesses streetscape significance due to the high level of continuity of housing styles, landscaping and fencing while the majority of buildings in the area are well maintained and of a consistent scale with some demonstrating a high degree of intactness.



Background

11. This application was submitted with Council on 18 February 2016 and was neighbour notified from 2 March to 16 March 2016 where six submissions were received.
12. Plan amendments were carried out and these were submitted with Council on 20 September 2016. This application was renotified from 5 October to 19 October 2016 where three submissions were received.
13. This report has been prepared giving consideration to the plans and details submitted with Council on 20 September 2016.

Section 79C Assessment

14. The following is an assessment of the application with regard to Section 79C (1) of the Environmental Planning and Assessment Act 1979.

(1) *Matters for consideration – general*

In determining an application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provision of:***
- (i) any environmental planning instrument,***

Kogarah Local Environmental Plan 2012 (KLEP 2012)

Part 2 – Permitted or Prohibited Development

Clause 2.1 – Land Use Zones

15. The site is zoned R3-Medium Density Residential under KLEP 2012. The proposal is currently a permissible form of development. Having said this, under the future zoning provisions outlined in the New City Plan where the zoning of the site is being changed from R3-Medium Density Residential to R2-Low Density Residential, the development will become a prohibited form. This is discussed in more detail later in this report.



Part 4 – Principal Development Standards

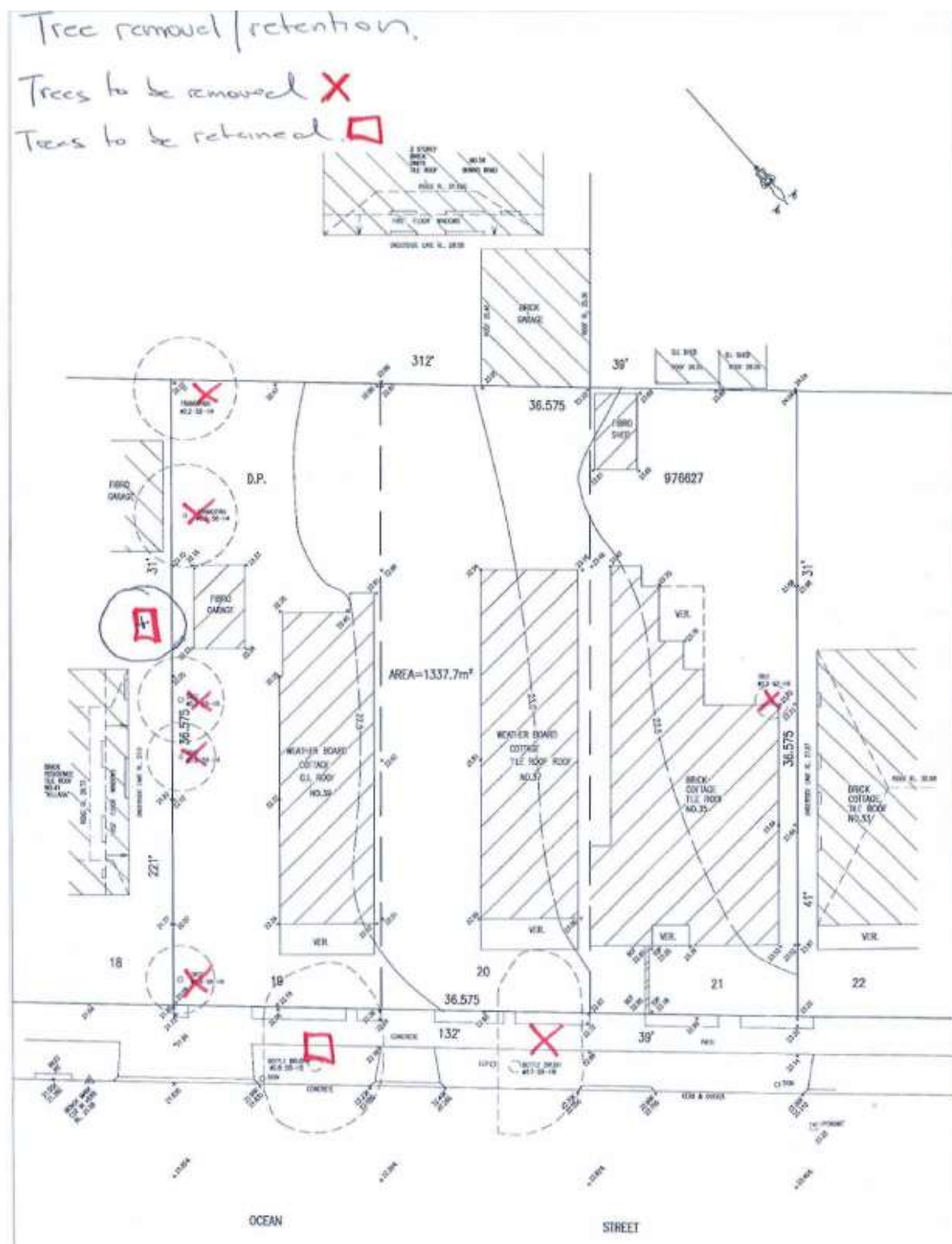
Clause 4.1A - Minimum lot sizes for dual occupancies, multi dwelling housing, residential flat buildings and seniors housing

16. A minimum site area of 800m² is required for all multi-dwelling housing within the R3-Medium Density Zone. The proposal incorporates an overall area of 1337m² complying with this standard.

Part 5 – Miscellaneous Provisions

Clause 5.9 – Preservation of Trees or Vegetation

17. The proposed development was referred to Council's Tree Management Officer for comment who raised no objection to the removal of a number of trees on the site subject to replacement planting. It was also recommended that a number of street trees located adjacent to both the subject and the neighbouring site be preserved and protected.



Tree removal/retention

Clause 5.10 – Heritage Conservation

18. The dwellings currently presented on the subject sites are not listed as heritage items in Schedule 5. However, the site is located within the Kogarah South Heritage Conservation Area. Upon receipt of the original proposal, this application was referred to Council's Heritage Advisor for comment who made the following comment:
"The proposal in its current form will not improve nor is sympathetic to the character of the Kogarah South Heritage Conservation Area, and is not supported. With respect to the Ocean Street buildings, their identical design, two-storey scale, and proportion of façade elements are out of character with older Contributory development in Ocean Street and the HCA overall. As previously noted, the Ocean Street buildings are to be redesigned to be predominantly single-storey with a part-two storey built form located to the rear.
19. The rear building is overly large and in its current form would adversely impact the amenity of neighboring properties. Although the multi-unit two-storey building is not typical of the HCA, a revised design which includes part one and part two storey built forms, appropriately articulated and detailed elevations and predominantly pitched roof forms will be considered given it is not prominent in the streetscape".
20. As proposed, Council's Heritage Advisor was not in support of the application as it was considered to be out of character with older Contributory Items located along Ocean Street and the Conservation Area as a whole.
21. In response to the concerns/recommendations outlined by the Heritage Advisor, architectural plan amendments were undertaken. These amendments were again forwarded to Council's Heritage Advisor for comment who again reiterated that the architectural response and the associated design outcomes fell well short of what is considered to be an acceptable built form for the area. As already outlined, an acceptable built form is one where the dwellings fronting Ocean Street are to be predominantly single-storey with a part-two storey built form located to the rear. This design response was not reflective of this as it proposed a two storey scale throughout.
22. In respect to the proposal satisfying Clause 5.10 in terms of objectives, the development is not consistent with the desired outcomes. The proposal does not appropriately respond to and conserve the heritage significance of the conservation area and the environmental heritage of Kogarah.
23. As a result, the proposal fails to satisfy Clause 5.10 of KLEP 2012.



Kogarah South- Heritage Conservation Area

Part 6 – Additional Local Provisions

Clause 6.1 – Acid Sulfate Soils

24. The subject site is not shown as being affected by acid sulfate soils as identified on the Acid Sulfate Soil Map.

Clause 6.2 – Earthworks

25. The proposed earthworks are considered acceptable having regard to the provisions of this clause as the works are not likely to have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land. The extent of excavation proposed is the minimum required for the provision of basement garaging.

Clause 6.3 – Flood Planning

26. The subject site has not been identified as a flood planning area on the Flood Planning Maps.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

27. A BASIX Certificate has been issued for the proposed development and the commitments required by the BASIX Certificate have been satisfied.

Deemed State Environmental Planning Policy – Georges River Catchment

28. All stormwater from the proposed development can be treated in accordance with Council's Water Management Policy and would satisfy the relevant provisions of the Deemed State Environmental Planning Policy – Georges River Catchment. The proposal was reviewed by Council's Stormwater Engineer who outlined that all stormwater can be treated in accordance with the provisions outlined in Kogarah Council's Water Management Policy.

(ii) *any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and*

29. The New City Plan includes changes to zoning and the introduction of development standards in parts of the City to deliver a range of new housing options.
30. Specifically, the New City Plan proposes to rezone the sites forming part of this development from R3-Medium Density Residential to R2- Low Density Residential and introducing development standards for floor space and height of 0.55:1 and 8.5m respectively.



Proposed Zoning under New City Plan

31. This application was submitted with Council after the New City Plan was exhibited. The New City Plan was exhibited from 30 March 2015 until Friday 29 May 2015 and this application was submitted with Council on 18 February 2016. As a result, the draft standards must be given consideration in this assessment.
32. The proposal is inconsistent with the future zoning provisions applicable for the site where “*multi dwelling housing*” will be a prohibited form of development. In respect to height, the proposal will be consistent with the draft provisions where all dwellings will present a maximum height within the 8.5m height limit. In respect to floor space, the current proposal has a floor space ratio of 0.67:1 (899.26m²). The draft standard outlines an FSR of 0.55:1 for each individual lot and an FSR of 0.37:1 (493m²) in the case where all lots were to be amalgamated. Under the provisions of the R2-Low Density Residential Zone, this proposal would be a prohibited form of development so the FSR applicable to amalgamated lots would not be applicable. As a result, comment as to whether or not the proposal would result in a FSR that is consistent with the draft standards cannot be established.
33. There are no other draft planning instruments that are applicable to this site.

(iii) any development control plan,

Kogarah Development Control Plan 2013

Kogarah South Heritage Conservation Area Assessment Guidelines

34. As outlined in the discussion earlier in this report under Clause 5.10 – Heritage Conservation, the proposal is not consistent with the guidelines and the resulting outcome is one which will not enhance the distinctive historic character of the locality.
35. The overall guiding principle for the design of any new development in the Kogarah South Heritage Conservation Area is that it complements the scale, form, materials, colours, and general appearance of existing original buildings and landscape features in the streetscape, and will preserve and be sympathetic with those special qualities which define the historic character of the locality. In this case, the proposal does not achieve these design outcomes.

Part C - Medium Density Housing

Performance Criteria	Design Solution	Proposed	Complies
Site Requirements			
Minimum Frontage	20m	36.573m	Yes
Density (used as guide) Site density not identified in Appendix 4 of DCP (site area/dwelling)	636m ² (2.1m ² site area per m ² dwelling area)	899.26m ²	No

General Controls			
Setbacks			
Front	75% at 6m and 25% at 7m	4.12m -5.5m	No
Side (N/W):	Detailed in report	1.5m-3m	No
Side (S/E):		1.5m-6m	No
Rear (S/W):		3.98m-4.17m	Yes
Height			
H1	7.4m	6.23m	Yes
H2	9m	8.1m	
Max Site Coverage	40% or 534.8m ²	42.6% or 570m ²	No
Max Impervious Area	55% or 735.7m ²	74% or 989.9m ²	No
Private Open Space			
Ground floor	40m ² p/unit	30.71m ² -91.37m ²	No
Min dimension (south side)	4m 3m+h = 9.27m req. for unit 8	2.3m 4m	
Car Parking	(1.5 per dwelling)		
Resident	12 spaces	19 spaces	Yes
Visitor	2 spaces	2 spaces	
Adaptable Units	1	1	Yes

*Kogarah Development Control Plan 2013- Compliance Table*Minimum Frontage width

36. Council's DCP outlines that a 20m frontage width is required for multi-dwelling housing in the R3-Zone. In this case, a 36.57m width is presented complying with this control. In respect to density, the site has not been identified within Appendix 4 of the DCP. This Appendix refers to the Kogarah South Heritage Conservation Guidelines which itself does not specifically provide any density requirements for this form of development.

Floor Space Ratio/Density

37. The site density requirement of 2.1m² of site area per m² of dwelling which is the applicable control for other related multi-dwelling housing in the R3 Zone will be used as a guide to density in this case. As a result, a maximum density on this site would be 636m². The proposal results in a density of 899.26m² failing to comply with this control. As a result, it is considered that the overall scale of the development is inconsistent with that of equivalent development types in this zone.

Height and Building Envelope Requirements

38. Multi-dwelling housing of a two storey scale is to comprise of a maximum H1 height of 7.4m and H2 Height of 9m. The proposed dwellings comply with the height requirements.

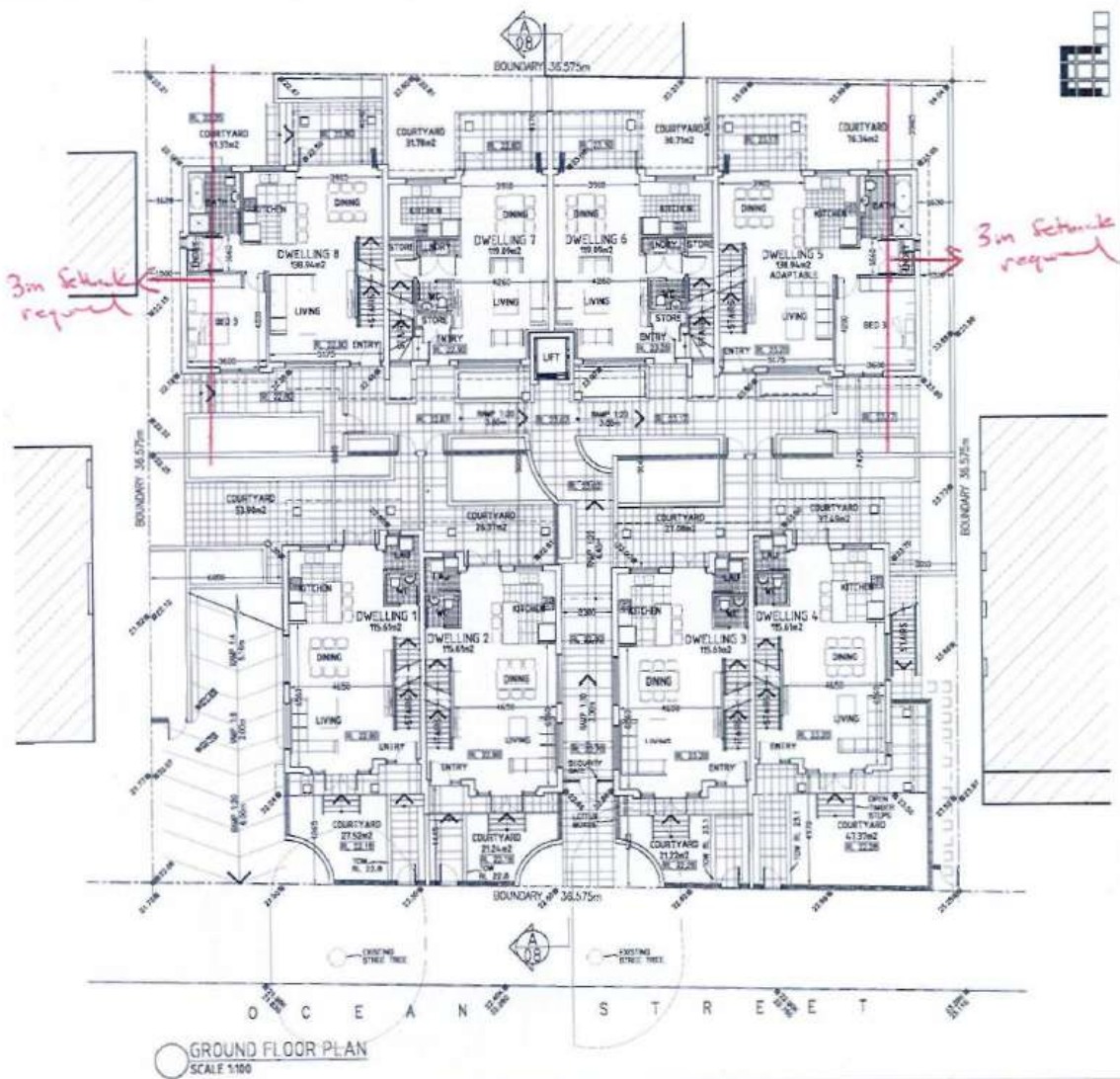
Building Setbacks:

Front setback

39. For residential flat development and multi dwelling housing, a maximum of 75% of the width of the building must be setback a minimum of 5m, with the remainder 25% being setback a minimum of 7m.
40. In this case, the street setback to the building ranges from 4.12m to 5.5m failing to comply with the DCP controls.

Side/rear setbacks

41. In respect to side setbacks, where the dwellings front the street setbacks are as per the requirements for single dwellings which in this case equates to 1.2m for both dwellings 1 and 4. Side and rear setbacks for dwellings not fronting the street are 3m plus $\frac{1}{4}$ the amount that the wall exceeds 3m which in this instance equates to 3m for dwellings 5 and 8. Rear setbacks are to be a minimum of 3.85m for dwellings 5 through to 8.
42. In response, dwellings 1 and 4 facing the street present side setbacks of 6m and 3m respectively complying with Council controls. Side setbacks of a minimum of 1.5m are proposed to dwellings 5 and 8 failing to comply with Council controls of 3m.



Required side setbacks to units 5 and 8

43. The rear setbacks which range from 3.98m to 4.17m comply with Council controls of 3.85m.

Site Coverage

44. Multi-dwelling housing is to incorporate a maximum site coverage of 40% or 534.8m². In this instance, a site coverage of 42.6% or 570m² is proposed failing to comply with Council DCP controls.

Open Space

45. DCP controls require 40m² of open space per dwelling at ground level with minimum dimensions of 4m. These areas must be larger on the southern side and incorporate a dimension of 3m + dwelling wall height in this location. As a result, a 9.7m minimum dimension is required to be incorporated to dwelling 8.
46. In response, dwellings 4 and 5 provide suitable private open space areas and dimensions. Units 6 and 7 provide a minor shortfall to the overall amount of area and dimension. Dwellings 1, 2, 3 and 8 provide adequate area but do not provide the minimum dimensions. Further, the roof structures proposed over the paved outdoor areas accessed off the dining rooms from dwellings 5 through to 8 will further reduce the amount of available solar access into the private open space areas associated with these units.

Impervious Area

47. The proposal results in 989.9m² or 74% of impervious area failing to comply with Council controls of 735.7m² or 55%.

Vehicular access, parking and circulation

48. Council DCP controls outline the required provision of 1.5 spaces/dwelling, plus one (1) visitor space/5 dwellings or part thereof, and 1 designated car wash bay which may also be used as a visitor space.
49. The proposal provides in excess of the required parking numbers. In respect to vehicular access and egress into the site, concern was raised by Council's Traffic Engineers in respect to the transitional grades allowing for suitable vehicular access into the basement carpark without scraping. These were currently unacceptable. Having said this, minor design changes could be made to the proposal in order to ensure compliance with the appropriate vehicular grades without it being to the detriment of the development.

Privacy

50. The proposal appears to be generally well resolved in relation to privacy.

Solar Access

51. In this case, a minimum of 50% of the neighbouring existing primary private open space or windows to main living areas will receive a minimum of 3 hours sunlight between 9am–3pm on the winter solstice (21 June). In respect to resulting shadowing impacts to the subject development, the rear courtyard area of dwelling 8 will be adversely impacted by shadowing which is not an ideal design outcome and fails to comply with Council DCP controls.

Views and view sharing

52. The proposal will not result in any adverse view impacts to neighbouring properties.

Adaptable & Accessible Housing

53. Where 3-10 units/dwellings are proposed 1 adaptable unit is required. In this case, dwelling 5 has been nominated as the adaptable unit.

(iv) ***any matters prescribed by the regulations, that apply to the land to which the development application relates,***

54. Not applicable.

(b) ***the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,***

55. The proposed development is of a scale that is incompatible with the future desired character. The sites forming part of this development in addition to a number of other sites located along Ocean Street are being rezoned from medium to low density development. This “downzoning” will initiate a reduction in both the size and scale of any development in order to complement the scale, form, materials, colours, and general appearance of existing original buildings and landscape features in the streetscape while preserving those special qualities which define the historic character of the locality.

(c) *the suitability of the site for the development,*

56. It is considered that the proposed development is of a scale and design that is unsuitable for the site as it will detract from and will not be sympathetic with the special qualities which define the historic character of the locality.

(d) *any submissions made in accordance with this Act or the regulations,*

57. In accordance with the provisions of Section A2 – Public Notification of KDCP 2013, the application was placed on neighbour notification from 2 March to 16 March 2016 and again from 5 October to 19 October 2016 once plan amendments were undertaken. When the application was amended and renotified three submissions were received that raised concern to heritage impacts, privacy, DCP non-compliances, overshadowing and downzoning of sites. The objectors felt that the proposal was not in character with the conservation area and that its overall scale would result in amenity impacts particularly in relation to privacy.

58. The objectors also outlined that the DCP non-compliances were unacceptable and that overshadowing would result. Concern was also raised to the future downzoning of the sites and the unsuitability of this form of development in a proposed low density zone.



Map indicating location of objectors.

59. The issues raised in these submissions were considered valid and have been discussed in the detailed assessment of the impacts throughout the body of this report. The issues raised by the residents form part of the reasons that the application could not be supported and is recommend for refusal. Further to this, phone discussions were held with the objectors on 18 October 2016 and the issues outlined in their submissions were discussed, clarified and largely concurred with.

(e) *the public interest.*

60. The proposed development is of a scale and character that is considered to detract from the scale and setting of the Kogarah South Heritage Conservation Area and is therefore not considered to be in the public interest.

Conclusion

61. The application has been assessed having regard to the Heads of Consideration under Section 79C of the Environmental Planning and Assessment Act 1979, the provisions of KLEP 2012 and KDCP 2013.
62. Following detailed assessment it is considered that Development Application No 26/2016 should be refused.

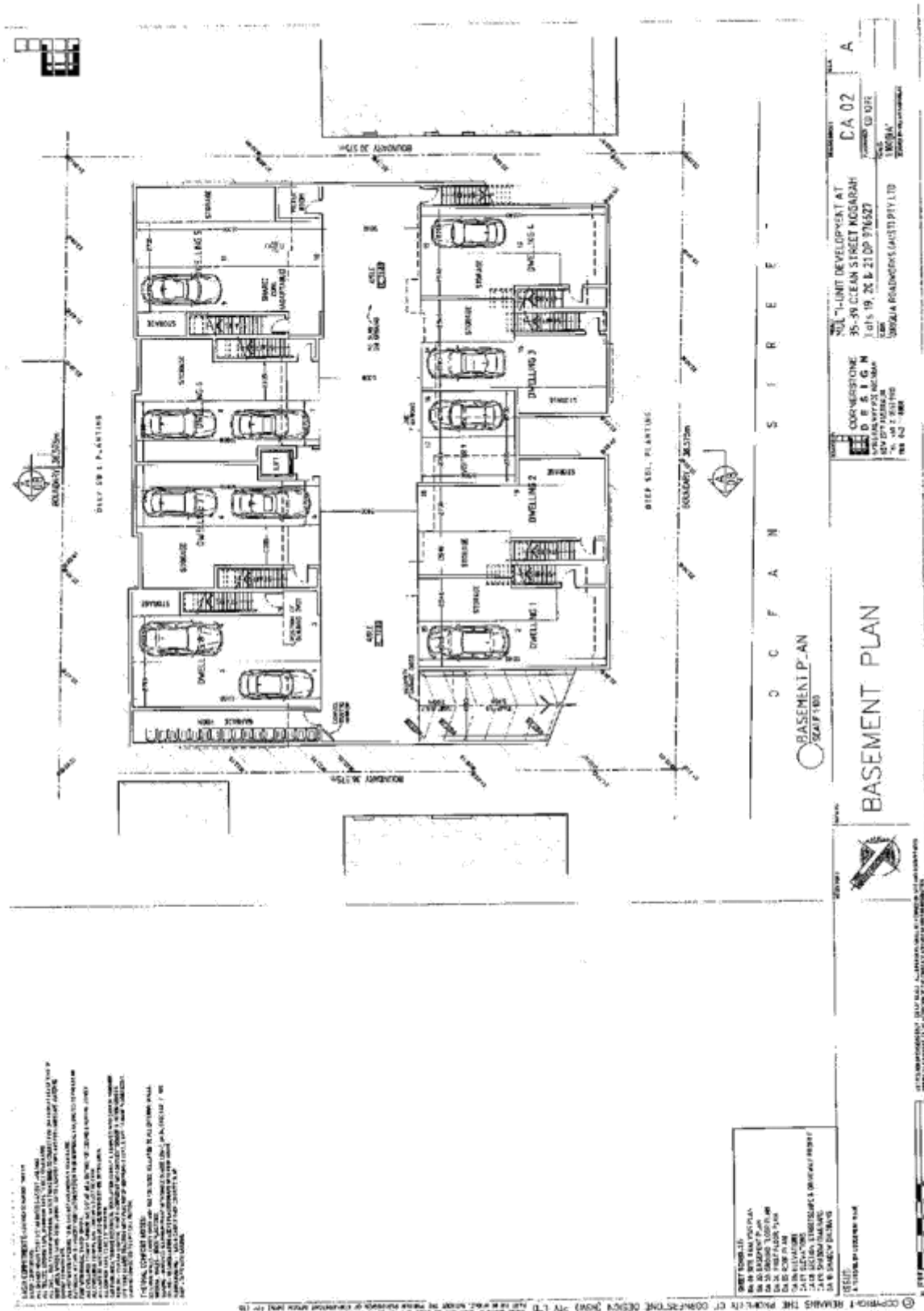
Development Refusal

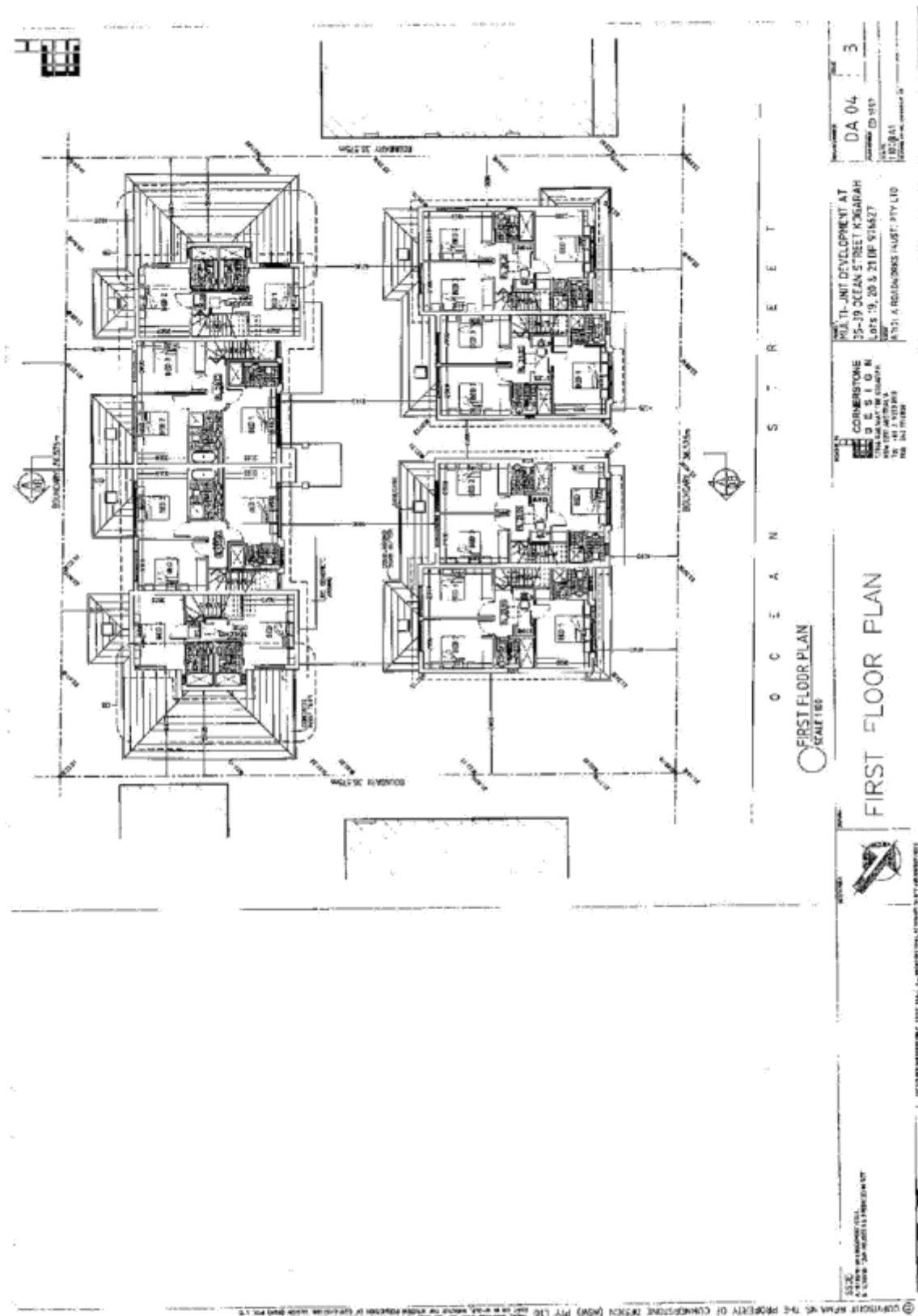
That Council as the Consent Authority pursuant to Section 80(1)(b) Environmental Planning & Assessment Act 1979, refuse to Development Application No 26/2016 for the demolition of the existing dwelling, construction of a multi-dwelling housing development with basement parking and strata subdivision at 35-39 Ocean Street Kogarah for the following reasons:

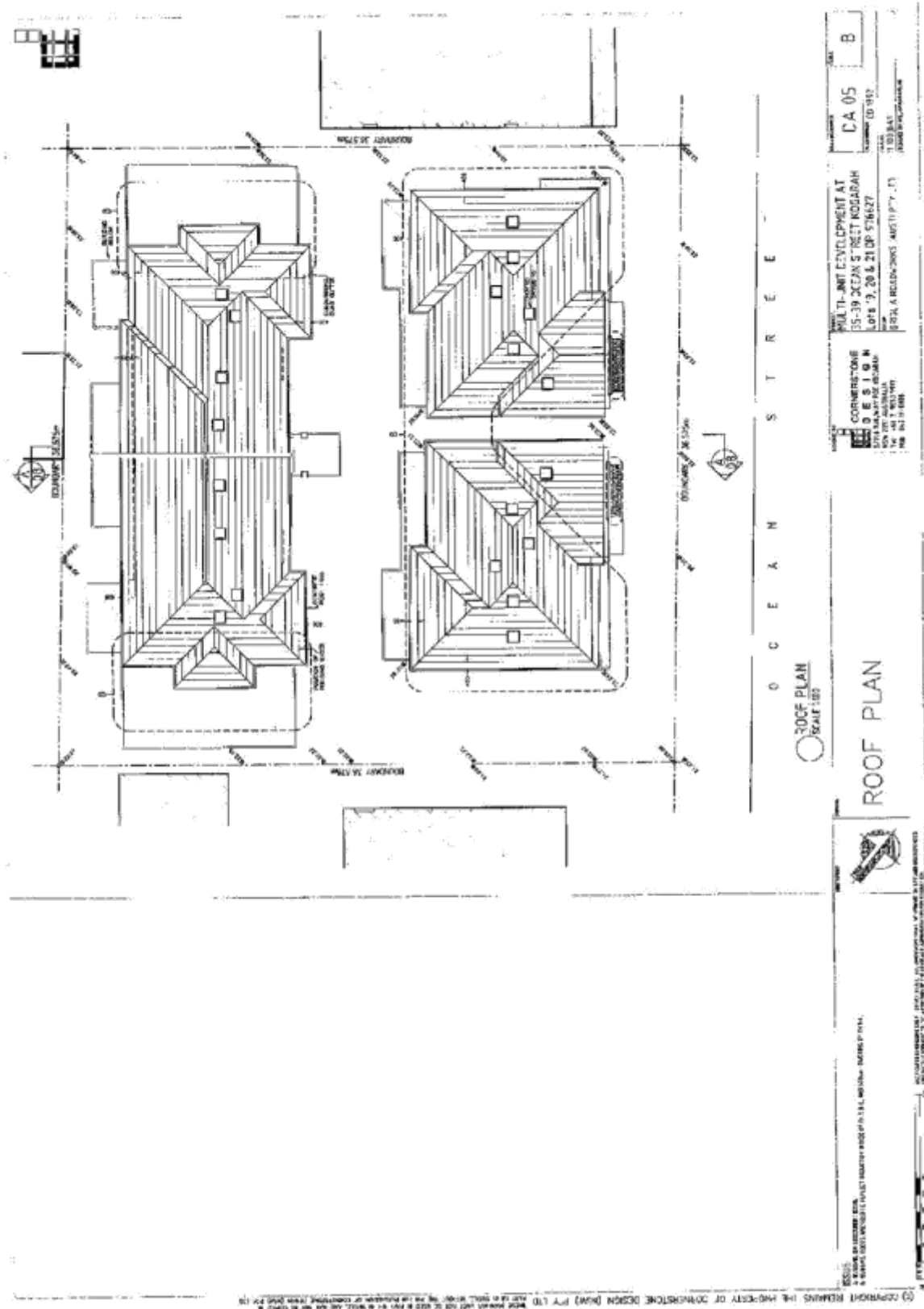
- The proposed development is contrary to the sites future direction as outlined in New City Plan which includes the rezoning of numbers 13-57 Ocean Street, Kogarah from R3 – Medium Density Residential to R2 – Low Density Residential as the area is within the Kogarah South Heritage Conservation Area.
- The proposal does not satisfy the objectives of Clause 5.10 (Heritage Conservation) of KLEP 2012 as it does not appropriately respond to and conserve the heritage significance of the conservation area and the environmental heritage of Kogarah.
- The proposal is not sympathetic to the character of the Kogarah South Heritage Conservation Area as it does not complement the scale, form, materials, colours, and general appearance of existing original buildings and landscape features in the streetscape, and will not preserve and be sympathetic with those special qualities which define the historic character of the locality.
- The proposal fails to comply with the DCP controls related to front and side setbacks, private open space and impervious area.

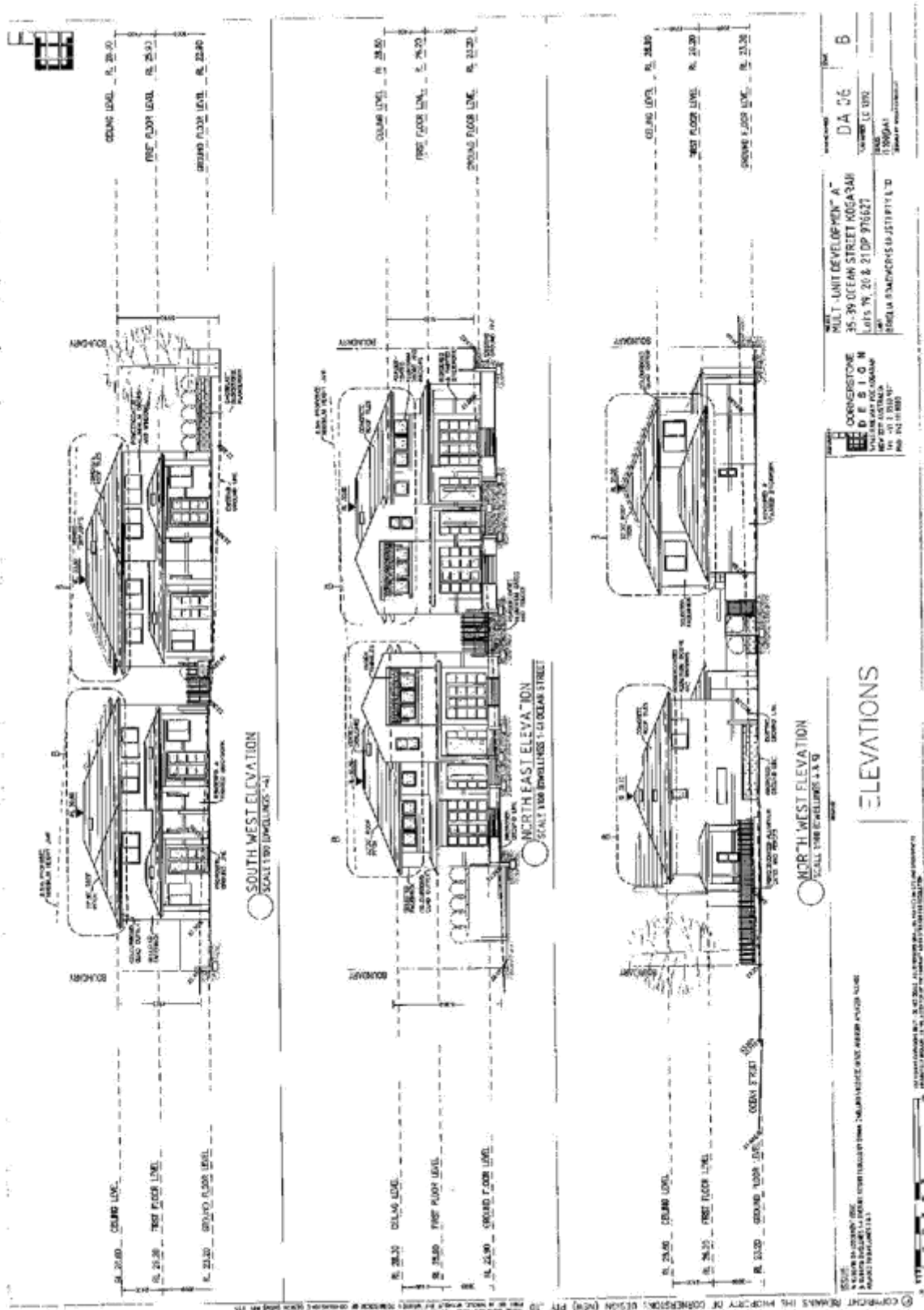
ATTACHMENTS

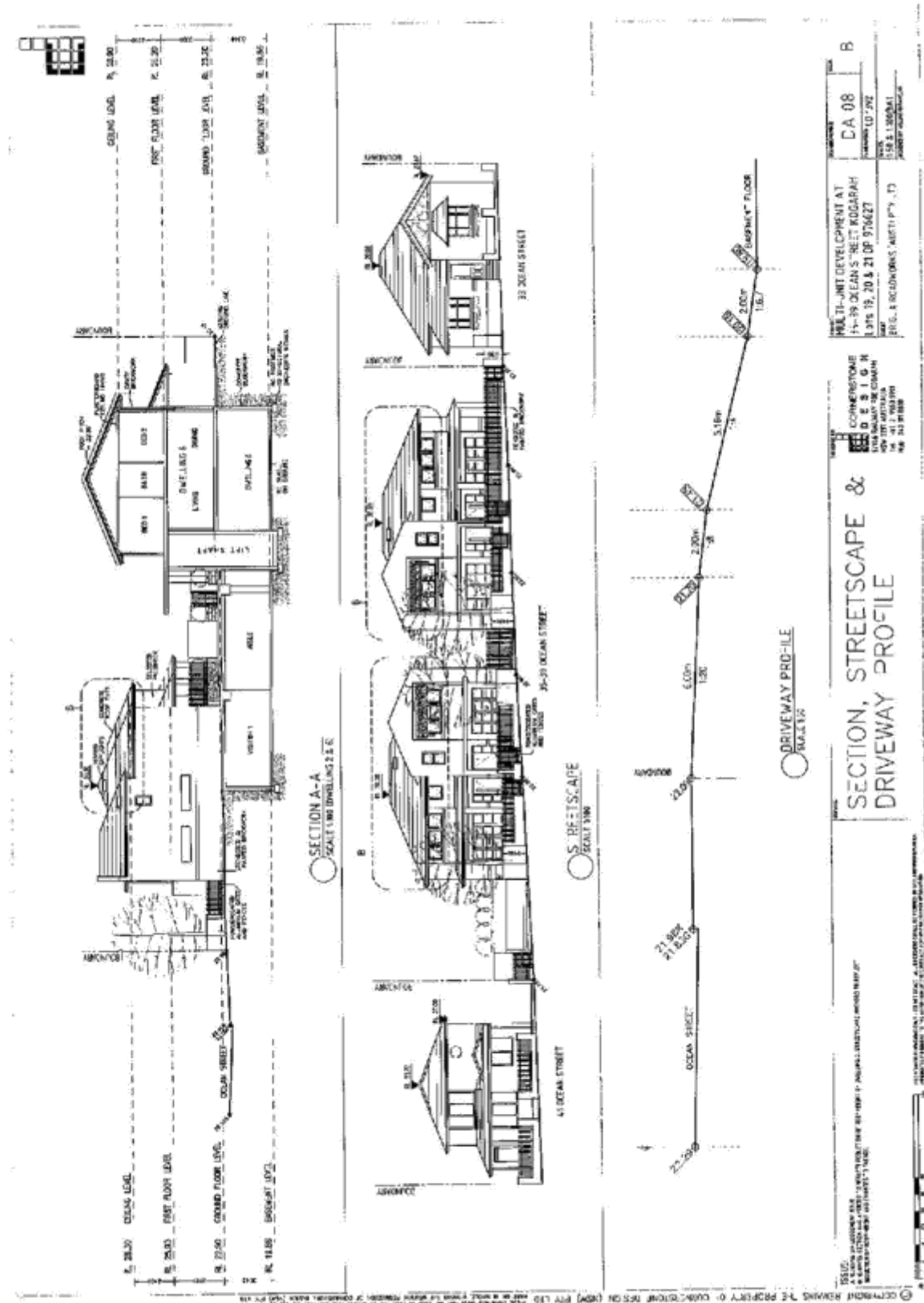
Attachment [View1](#) A4 Plans

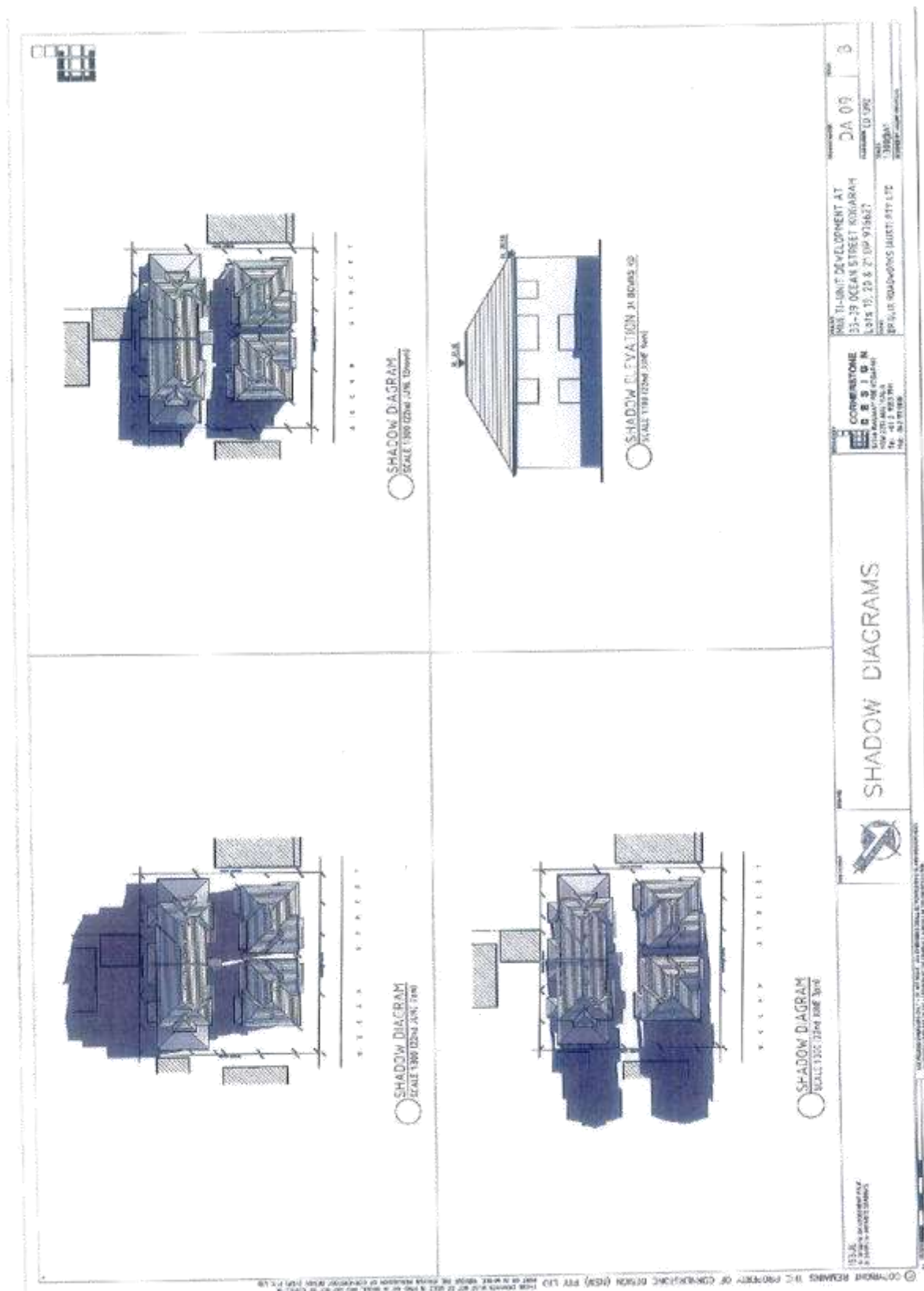


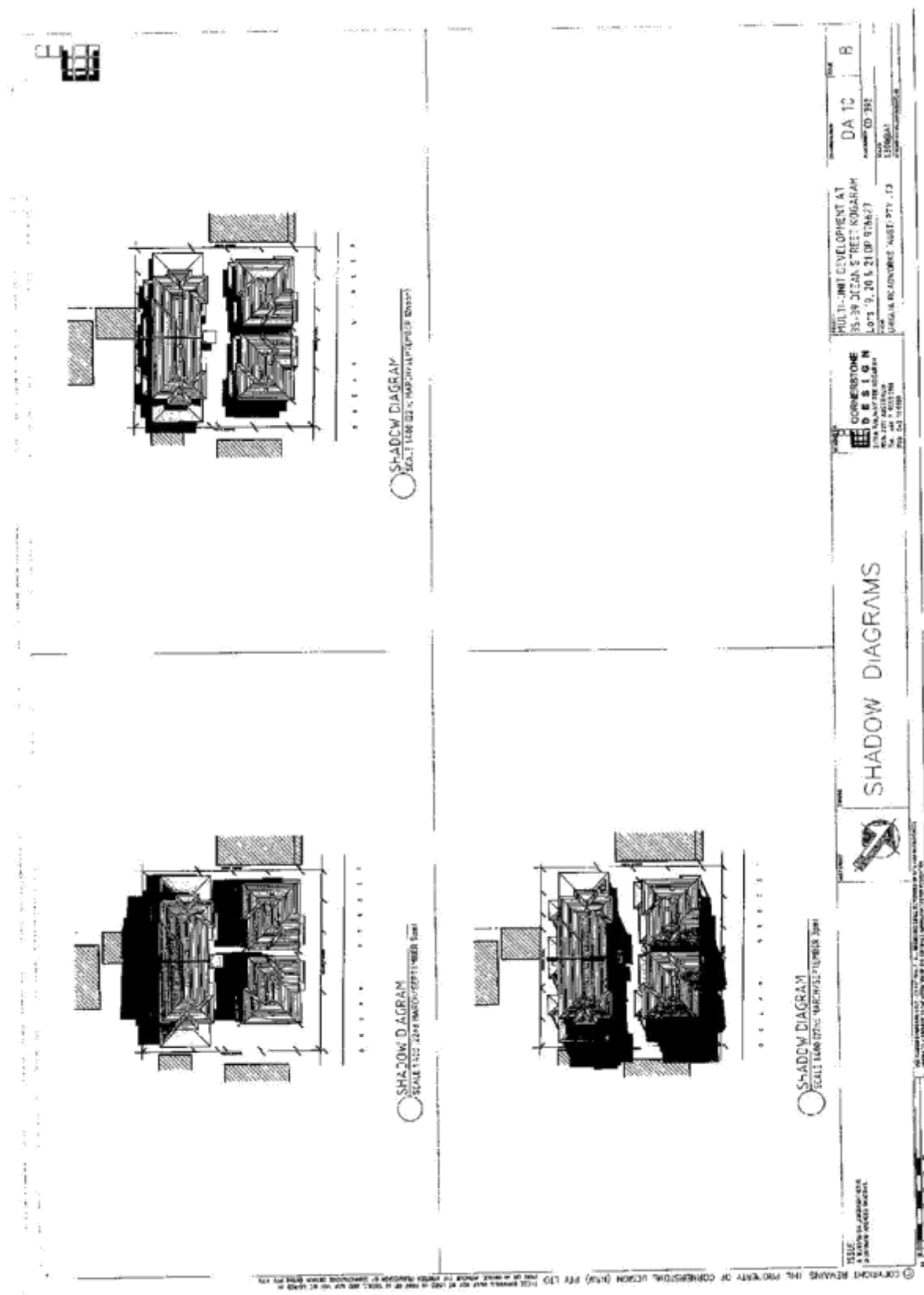












REPORT TO GEORGES RIVER COUNCIL

IHAP MEETING OF THURSDAY, 24 NOVEMBER 2016

IHAP Report No	3.5	Development Application No	DA2016/0078
Site Address & Ward Locality	19-23 Bembridge Street, Carlton Kogarah Bay Ward		
Proposal	Demolition of existing dwellings and construction of a five storey residential apartment building with (23) units, basement parking and strata subdivision		
Report Author/s	Development Assessment Officer, Bernard Moroz		
Owners	Mr J Carigliano & Ms E Briglia		
Applicant	Cafer Investments Pty Ltd		
Zoning	R3-Medium Density Residential under KLEP 2012		
Date Of Lodgement	2/05/2016		
Submissions	Five (5)		
Cost of Works	\$5,795,000.00		
Reason for Referral to IHAP	Nature of development, non-compliances and unresolved objections		
Recommendation	That the application be approved in accordance with conditions included in the report.		

Site Plan



Executive Summary

Proposal

1. Council is in receipt of an application for the demolition of the existing dwellings and the construction of a five storey residential apartment building containing (23) units, basement parking and strata subdivision on the subject site.

Site and Locality

2. The site consists of three regular shaped allotments and is located on the north-western side of Bembridge Street. The site presents an overall frontage width of 36.575m, site lengths of 37.285m (north-eastern) and 36.9m (south-western) and overall site area of 1,356.9m².

Zoning and Permissibility

3. The site is zoned R3-Medium Density Residential under KLEP 2012 and the proposal is a permissible form of development with Council's consent. The proposed development satisfies all relevant clauses contained within KLEP 2012.

Kogarah Development Control Plan 2013 (KDCP 2013)

4. The proposed development satisfies the provisions of Section 1.1 – Streetscape Character of KDCP 2013 and complements the existing streetscape character. However, the proposal does not comply with Council's controls for density, height, front setback, common open space and impervious area.

Submissions

5. Five submissions were received raising concerns related to the scale of the building, traffic, shadowing and privacy.

Conclusion

6. Having regard to the Heads of Consideration under Section 79C (1) of the Environmental Planning and Assessment Act 1979 and following a detailed assessment of the proposal Development Application No. 78/2016 should be approved subject to conditions.

Report in Full

Proposal

7. Council is in receipt of an application for the demolition of the existing dwellings and the construction of a five storey residential apartment building containing (23) units being (20) two bedroom and (3) three bedroom units, basement parking and strata subdivision on the subject site.

The Site and Locality

8. The site consists of three regular shaped allotments and is located on the north-western side of Bembridge Street. The site consists of three regular shaped allotments and is located on the north-western side of Bembridge Street. The site presents an overall frontage width of 36.575m, site lengths of 37.285m (north-eastern) and 36.9m (south-western) and overall site area of 1356.9m². The site presents a crossfall from the south-west to the north-east and is sporadically vegetated throughout. A 2.135m wide drainage easement traverses the site along the length of the north-eastern perimeter while three single level brick dwellings and ancillary structures currently exist on the site.

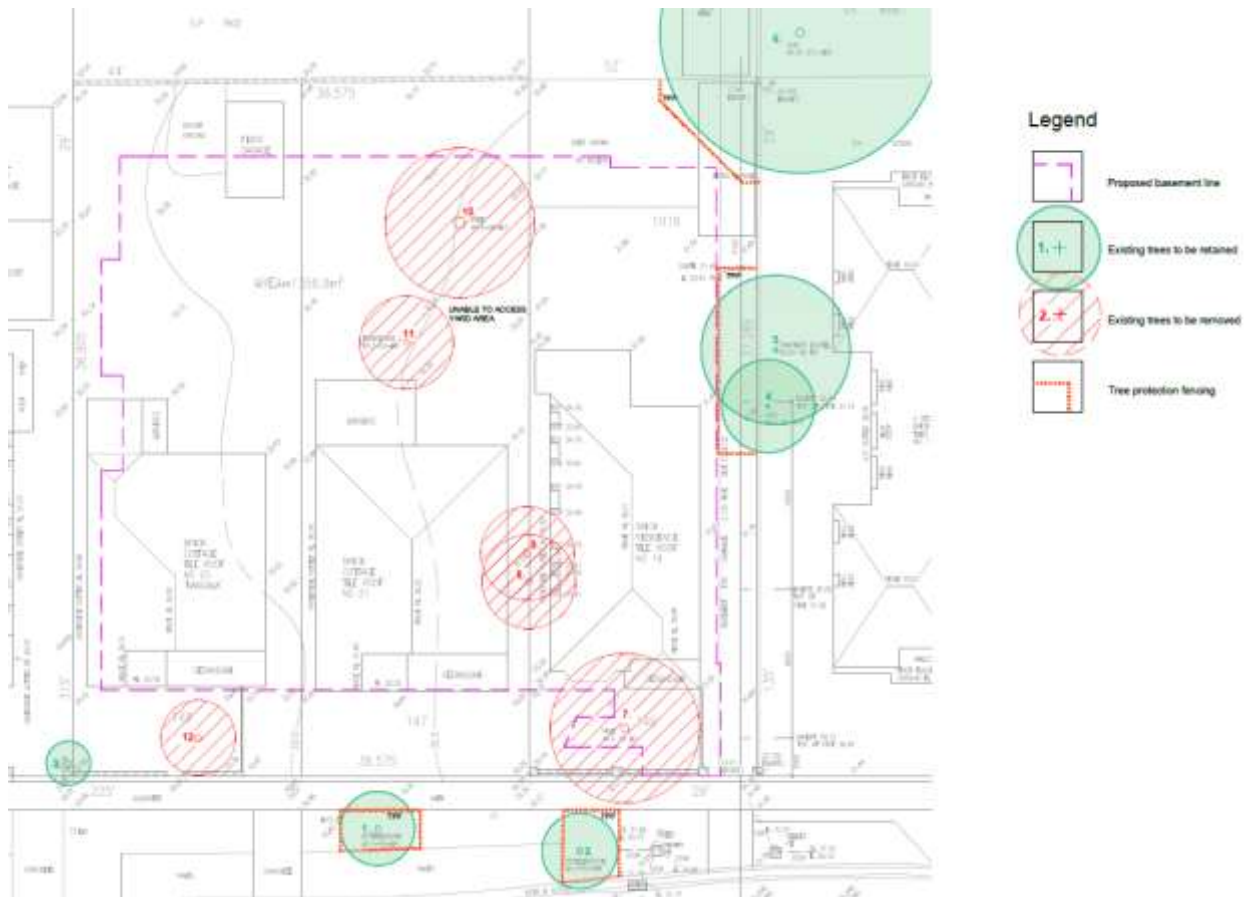


Background

9. The application was submitted with Council on 2 May 2016 and was neighbour notified from 17 to 31 May 2016 where five objections were received.
10. The application was reviewed by the St George Design Review Panel on 7 April 2016 where the application was generally supported subject to the carrying out of minor design changes in accordance with the panel's recommendations.
11. Architectural plan amendments were undertaken with a final revision submitted with Council on 26 October 2016. This report has been prepared giving consideration to both the architectural plans and details submitted on 26 October 2016.

Section 79C Assessment

12. The following is an assessment of the application with regard to Section 79C (1) of the Environmental Planning and Assessment Act 1979.



Map depicting tree removal and retention

Clause 5.10 – Heritage Conservation

16. The subject site is not listed as a heritage item in Schedule 5, is not within a Heritage Conservation Area, nor are there any heritage items located nearby.

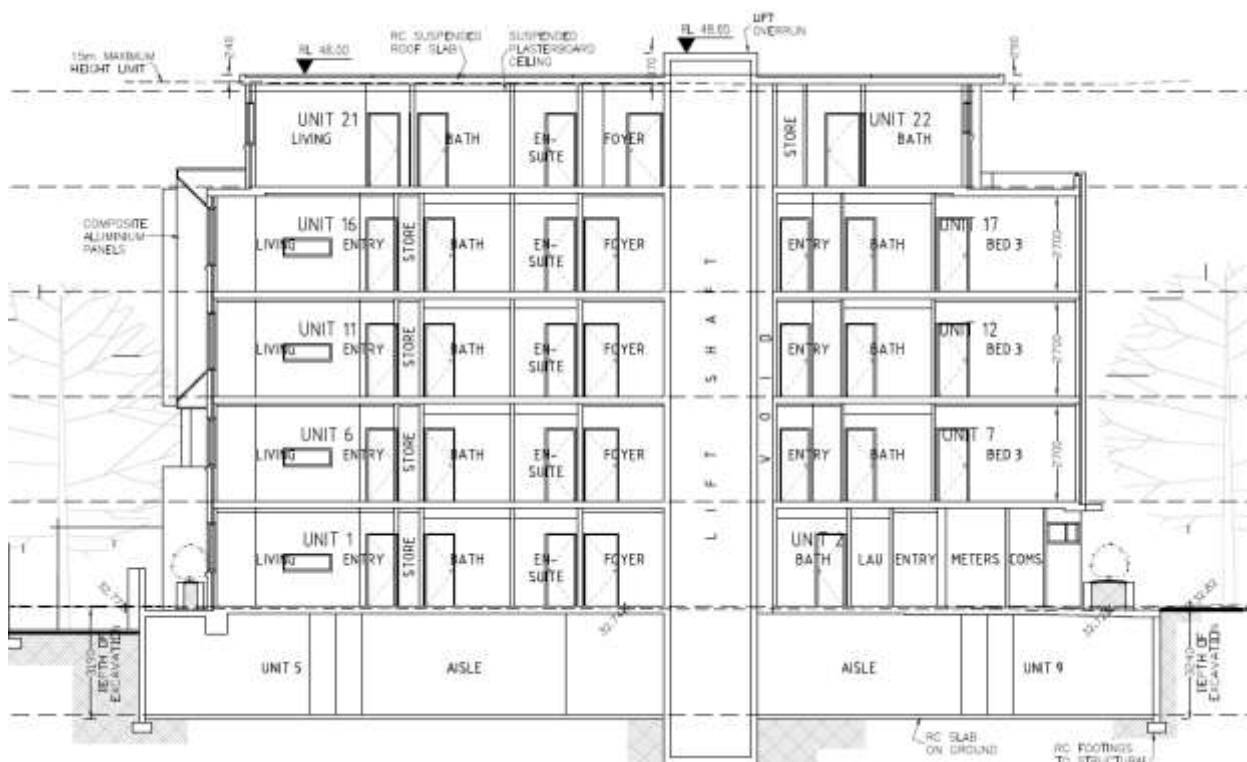
Part 6 – Additional Local Provisions

Clause 6.1 – Acid Sulfate Soils

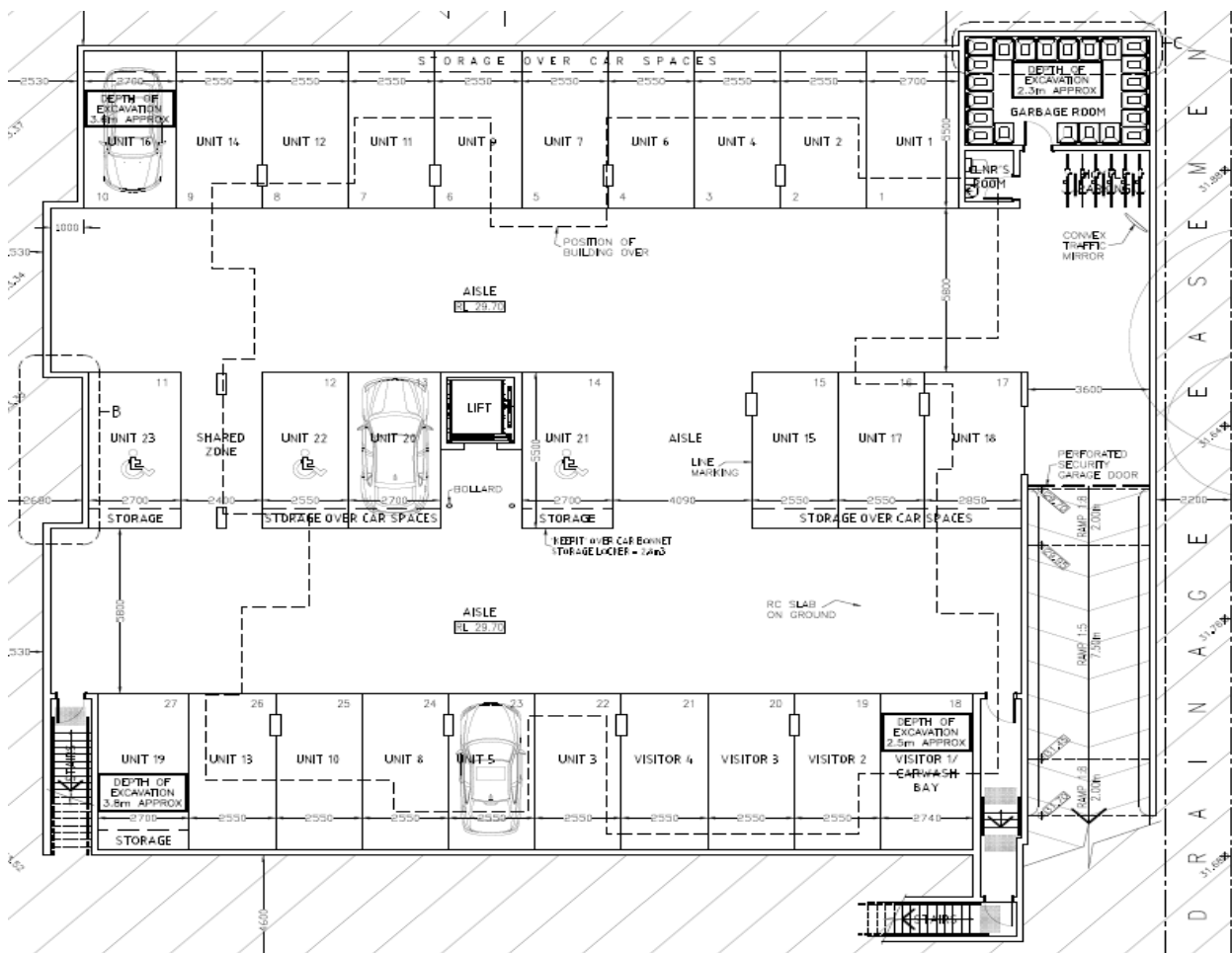
17. The subject site is not shown as being affected by acid sulfate soils as identified on the Acid Sulfate Soil Map.

Clause 6.2 – Earthworks

18. The proposed development will require significant excavation works in order to accommodate the basement car park. This excavation ranges in depth from 2.3m (northern corner) to 3.8m (southern corner). The proposed excavation is the minimum necessary to achieve a basement and it has been designed to allow for substantial deep planting areas around the perimeter of the building.
19. It is considered that the proposed earthworks are considered acceptable having regard to the provisions of this clause as the works are not likely to have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.



Section indicating depth of excavation



Floor plan of basement depicting excavation depth

Clause 6.3 – Flood Planning

20. The subject site is identified on the Flood Planning Maps as being affected by flooding. However, it is considered that the proposed development satisfies the provisions of this clause in terms of compatibility, affect on flood behaviour, risk to life, impact on the environment and social and economic costs.
21. In addition, consideration has been given to the provisions of Section B6 – Water Management of KDCP 2013 and the proposed development satisfies the relevant controls related to flooding and drainage.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

22. A BASIX Certificate has been issued for the proposed development and the commitments required by the BASIX Certificate have been satisfied.

State Environmental Planning Policy No 65 – Design Quality of Residential Flat Development (SEPP No 65)

23. The proposed development is subject to the provisions of SEPP No 65, which aims to improve the quality of residential flat design in NSW.
24. The application has been accompanied by a design verification from a qualified designer that verifies that:
 - a) *He or she designed or directed the design of the modification, and*
 - b) *The modifications achieve the design quality principles as set out in Part 2 of SEPP No 65, and*
 - c) *The modifications do not diminish or detract from the design quality, or compromise the design intent of the approved development.*
25. The application was referred to the St George Design Review Panel for consideration at their meeting of 7 April 2016. The following comments were provided with respect to the design quality principles set out in the Policy:
26. It should be noted that at the time this application was reviewed by the DRP, Council had exhibited the New City Plan and consideration of the reports on the New City Plan were adopted during an Extraordinary Council Meeting held on Monday 4 April 2016. This Plan has since been lodged with the Department of Planning for gazettal. The New City Plan proposes to rezone land and increase gross floor space ratios and height on certain sites. It has been recommended to increase the floor space and height on the subject site to 1.5:1 and 15m respectively.
27. Additionally, Council at its meeting on 26 April 2015 resolved that the process for dealing with development applications reliant on elements within the New City Plan be endorsed as outlined in the Council report. This report outlined that where there is no change in the zone and where the use is permitted under the current land use table but there is a variation to development standards (KLEP 2012) or Kogarah DCP 2013 controls, Council will accept, assess and determine Development Applications.

28. The Design Review Panel based a proportion of its comments/recommendations on the draft provisions of the New City Plan which are detailed below.

Context

29. The context is characterised by typically three (3) storey apartment buildings and remaining single storey residential dwellings. Given the new LEP controls which permit greater height and density it is likely that all the latter will be replaced by apartments in the near future. It is noted that there is a new four (4) storey apartment building across the street from the site.
30. The landscape character is formed by large mature trees in both the verge and established front gardens. Recent development has detracted from a strong street planting pattern and as such it is important that the subject development make a positive contribution to retaining and reinforcing the street character. Overhead power lines run along the verge at the front of the development site and inhibit planning of large trees on the public land.

Comment

Acceptable

Built Form and Scale

31. Generally satisfactory with the exception of the fifth level which is unduly prominent in the streetscape. The Panel recommends that the subject development and all future developments along the street should emphasize a four (4) storey street frontage scale, with any forms above this height setback so that they are not visually assertive. The fifth level in this development should be setback no less than 4m from the Bembridge Street front building line.
32. As proposed the ground floor residential units are set approximately 1m below the footpath and the western side boundary which has adverse consequences:
- *Apparent flooding risk, specifically the relationship between FFL, OSD and site boundary levels do not appear to be successfully resolved.*
 - *Reduced amenity of ground floor units.*
 - *FFL necessitates stairs and ramps within the front setback, compromising the opportunity for large tree planting as well as the presentation of the development to the street.*

Comment

33. The 4m setback for the fifth level beyond that of the Bembridge Street primary building line is unwarranted. The proposed design has already incorporated an increased setback to the fifth level that ranges between 1.955m - 2.380m from the fourth level below. This outcome is already considered to reduce the visual assertiveness of the uppermost level. Additionally, the solid balustrade to the top floor balcony and the proposed planting between the balcony area off Unit 21 and this parapet perimeter solid balustrade further obscures the uppermost part of the building when viewed from the street. It is anticipated that any future redevelopment of neighbouring sites will reflect the built form and scale of that of the current proposal.

34. The ground floor level of the building has been raised 500mm resulting in a 500mm increase to the overall building height. As a result, the ground floor level relationships with the existing ground levels are more coherent providing an improved relationship with the front entry and access to the common open space area. Level access is now provided from the foyer to the primary common open space area along the rear of the building. As a result, the ground floor units will now offer an improved amenity while the overall extent of stairwells and ramps proposed within the front setback have been minimised resulting in the increased availability of area for deep soil planting.
35. In regards to building separation, the Panel did not raise any concern with the separation of the proposed building in relation to that of neighbouring buildings. The building is considered to be well resolved in regards to separation where only a minor deviation away from the outcomes outlined in the ADG are presented to the fifth storey north-eastern perimeter wall associated with bedroom number 2. In this instance, an 8.42m setback has been incorporated which is a shortfall from the 9m outlined in the ADG.
36. While inconsistent with the guidelines of the ADG, the proposed separation is considered to provide appropriate massing and space between the proposed building and the existing flat building located to the north-east. Further, it is unreasonable to utilise an identical ADG separation guide for buildings of both a five and eight storey scale when such a disparity is presented with the two scales. It is more appropriate to utilise the guide in order to achieve a desired outcome that addresses the objectives of the ADG rather than that of a strict numerical standard. As such, it is more appropriate to pro rata the separation in accordance with the scale of the building rather than implementing a “one size fits all” approach.
37. Having said this, the proposal has incorporated frosted glazing to the perimeter bedroom windows (Unit 23) in order to ensure adequate privacy between the buildings. Further, both the visual massing and spaces between buildings is appropriate for both the current and future character.
38. The minor shortfall will not restrict the ability to provide visual and acoustic privacy, natural ventilation, sunlight, daylight access and outlook for both the subject and neighbouring buildings while suitable areas of deep soil zones and landscaping are still provided along the sites perimeters. As a result, the minor deviation away from the ADG guidelines in relation to building separation should be supported.

Density

39. It complies with the New City Plan and acceptable subject to the design issues above being resolved.

Comment

40. The New City Plan outlines a density of 1.5:1 or 2035m² which would be the applicable for the subject site. This proposal results in a density consistent with the maximum anticipated.

Sustainability

41. Appears to comply. A development of this scale should also consider adequate provision for the storage and re-use of water for landscape irrigation, as well as solar energy generation.
42. The basement should be setback a minimum of 3m from each of the side boundaries to meet minimum deep soil dimensions and allow for appropriate tree planting. Infrastructure such as stairs and ramps located in potential deep soil zones should be minimised or removed. The OSD tank should be moved from the deep soil zone and located under the driveway.

Comment

43. As a result of the site constraints and the required provision of car parking, it is difficult to provide 3m setbacks from the basement to the side boundaries without providing a dual level basement which is not considered an appropriate design outcome as a result of the additional significant excavation that would need to be undertaken. Having said this, areas with deep soil widths ranging from 2.2m - 2.5m are provided along the side boundaries which are adequate in size and width to allow for appropriate tree planting.
44. Additionally, as a result of the increase in height of the ground floor level as stated above, the extent of the stairs and ramps located within the deep soil zones have been minimized or removed in their entirety. In regards to the position of the OSD tank, this relates to the position of the stormwater line and cannot be relocated to under the driveway as the outlet level would then be located below street level.

Landscape

45. There are a number of significant trees located on the adjoining site to the north which have tree canopies that extend onto the development site. The Tree Protection Zones for these trees must be shown on all drawings. Structures such as basement walls, retaining walls, paving and other structures must not be proposed within the Tree Protection Zones and ground levels must remain as existing in these areas.
46. The location of the drying lines, proposed under the existing Eucalypt tree should be reviewed. The front setback should be landscaped in a form that complements and enhances the existing streetscape, including the planting of large trees.

Comment

47. Tree Protection Zones are now depicted on the amended landscaping plans and the ground levels are retained as existing. The clothes drying lines have been relocated to the western corner of the site while two additional trees are proposed within the front setback to enhance the existing streetscape. Also, as a direct result of the amended floor levels, the extent of paving along the front of the site has been minimised allowing for additional deep soil planting area.

Amenity

48. The following issues should be addressed:

- Provide natural light and ventilation to the car park
- Provide natural light and ventilation to internal corridors
- Redesign main entrance area to be more generous and allow space for seating, etc in lobby and desirably also in the entrance forecourt
- The deeply recessed entrance door is of concern
- Adequate basement storage should be confirmed

Comment

49. Due to the basement being located largely below the natural ground lines of the site, mechanical ventilation has been incorporated which is a typical outcome of this development type. Natural light and ventilation has been provided to the internal corridors by means of doors and windows (ground floor), borrowed light from the stairway (middle levels), and vented skylights (top level). The main entry is considered to be of a reasonable width ranging in between 2.0m- 2.37m which is adequate for the provision of a comfortable entry-exit point in addition to seating. Additional seating has also been included adjacent to the letter boxes at the front of the building.
50. Storage requirements as required under the provisions of the ADG have been incorporated both within the basement and the apartments.

Safety and Security

51. The deeply recessed main entry doors are a potential security hazard.

Comment

52. In respect to the main entrance door, this has been brought forward to reduce its distance from the street.

Housing Diversity and Social Interaction

53. Communal open space where indicated at the rear of the property would be of very poor quality. It is not visually accessible from the majority of the units. It is below ground level, substantially overshadowed in winter months and a very limited value. Some part of this area could potentially be useful for a children/toddlers play space, provided that it is immediately accessible and clearly visible from the entrance lobby. It is essential to provide an additional communal area elsewhere which will receive good solar access during winter. It is strongly recommended the communal area be relocated on the fourth floor, with a small enclosed room opening to an attractive terrace which would receive good winter sunlight.

Comment

54. The revised height of the ground floor and the subsequent revised height of the common open space, addresses the majority of issues raised. The majority of the space is now either at or above ground level while the area located along the rear boundary is orientated to the north/ north-west receiving excellent solar access. The ADG stipulates that common open space is to have a minimum width of 3m which has been achieved in this case.
55. As already outlined, the ground floor has been raised by 500mm in order to better address the natural ground level at the rear of the site while also ensuring that appropriate solar access that provides good amenity for the residents has been provided. A toddlers play space has also been provided which has been noted on the amended landscape plan.

Aesthetics

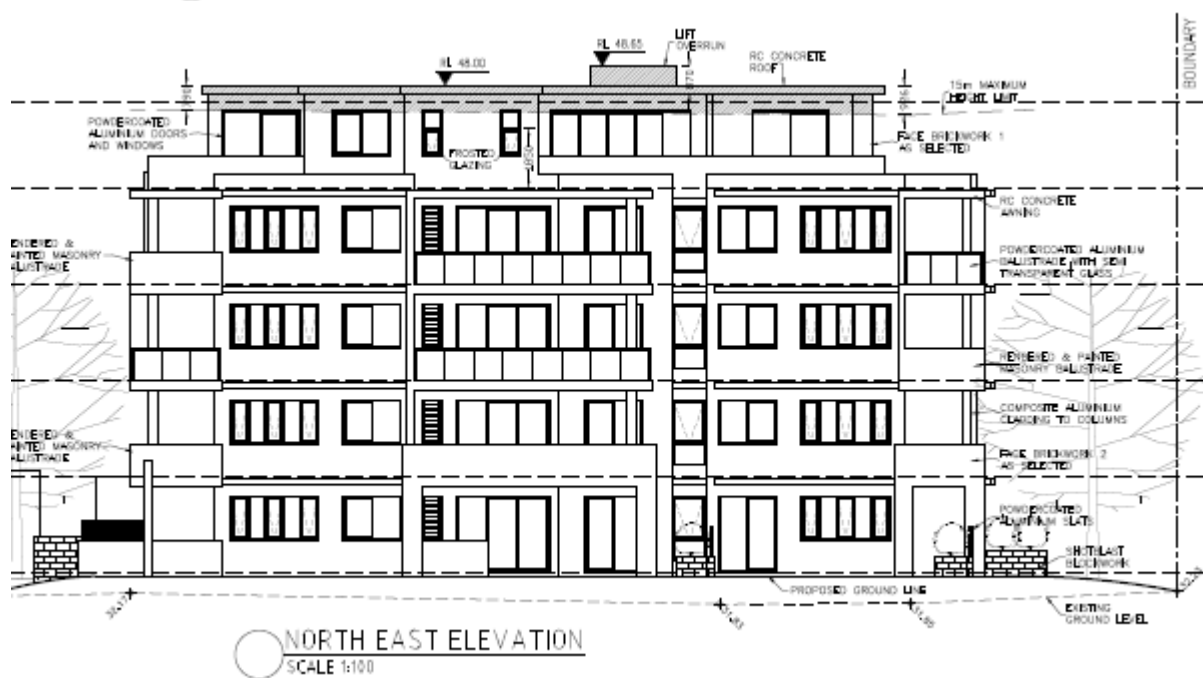
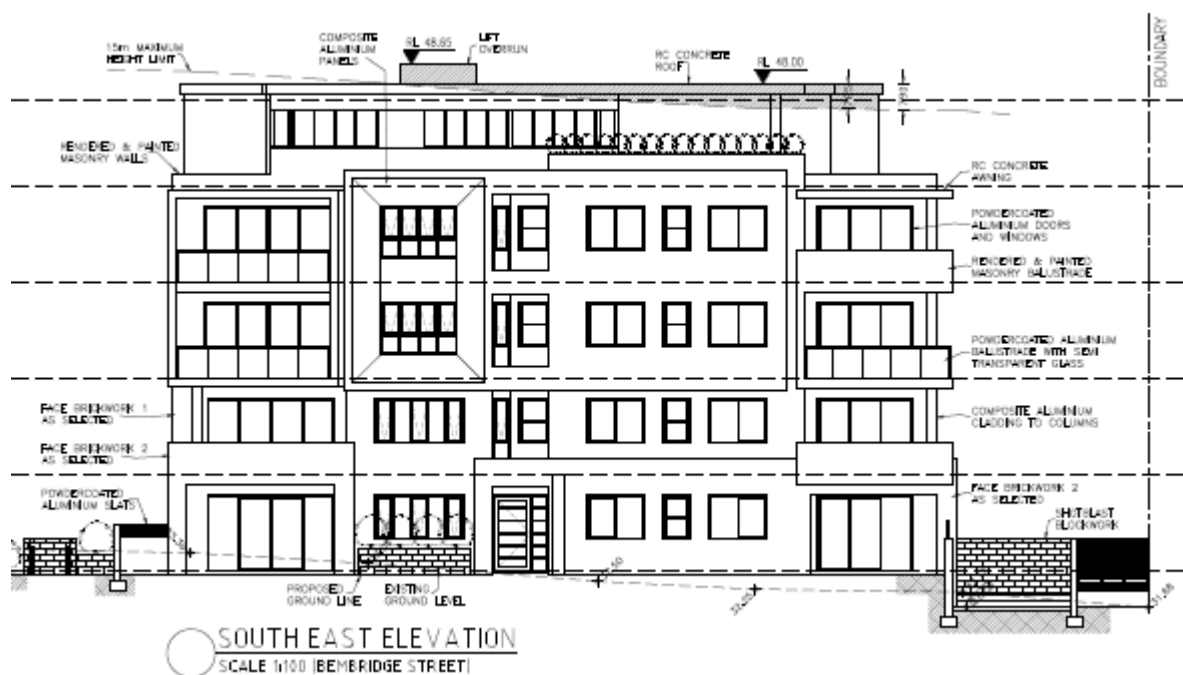
56. Subject to addressing the issues discussed above under 'Built Form' and 'Landscape', the design is acceptable.

Comment

57. These issues have been addressed and have been discussed under the relevant headings above.

Deemed State Environmental Planning Policy – Georges River Catchment

58. All stormwater from the proposed development can be treated in accordance with Council's Water Management Policy and would satisfy the relevant provisions of the Deemed State Environmental Planning Policy – Georges River Catchment
- (ii) ***any draft environmental planning instrument that is or has been placed on public exhibition and details of which have been notified to the consent authority, and***
59. The New City Plan includes changes to zoning and the introduction of development standards in parts of the City to deliver a range of new housing options.
60. Specifically, the New City Plan proposes to introduce height and FSR standards while the zoning of the site will remain as existing. A floor space ratio of 1.5:1 and height of 15m is proposed in this case which this application has been prepared subject to.
61. A floor space ratio of 1.499:1 or 2034.89m² is proposed complying with the future standard. In respect to height, the building will comprise of a maximum height of 15.926m failing to comply with the future 15m height standard as outlined in the New City Plan. The extent of non-compliance ranges from 50mm to 926mm. The extent of non-compliance has been hatched on the building elevations below for ease of interpretation.





62. While non-compliant with Council's future standard, the non-compliance in relation to height was exacerbated by the comments made by the Design Review Panel who recommended that the building be raised in order to address a number of design issues. These issues were related to the relationship between the proposed FFL of the building, OSD and site boundaries which result in a reduced amenity to the ground floor units necessitating the need for stairs and ramps within the front setback. The issues have been addressed with the raising of the building by 500mm.
63. Further, the building itself has been well articulated and provides a range of materials and finishes that will ensure that visual interest when viewed towards the building from both the street and neighbouring properties is maintained. Generous separation between the subject and neighbouring buildings has been provided while suitable landscaping has been incorporated along the sites perimeters in order to soften the buildings built form.

64. Furthermore, the draft objectives of the clause related to height are as follows:
- to establish the maximum height for buildings,
 - to minimise the impact of overshadowing, visual impact, and loss of privacy on adjoining properties and open space areas.
 - to provide appropriate scales and intensities of development through height controls.
65. It is not envisaged that the minor height non-compliance will result in any perceivable visual increase to the scale of the building nor is it considered to result in any additional amenity impact over what would be anticipated from a complying building height. In respect to scale and intensity, the proposed building does present an increased scale and intensity to that currently presented along Bembridge Street; however, the future scale of development anticipated to be carried out on the numerous undeveloped sites within the immediate context will present a scale and intensity that are reflective of that being proposed in this case.

(iii) any development control plan,

Kogarah Development Control Plan 2013 (KDCP 2013)

66. The proposed development is subject to the provisions of the Kogarah Development Control Plan 2013 (KDCP2013). The relevant controls are discussed below:

Frontage

67. Council's DCP outlines that a 20m frontage is required for residential flat building. In this case, an overall frontage width of 36.575m is provided complying with Council DCP controls.

Number of Storeys

68. Council's DCP permits three (3) storey residential flat buildings on the subject site.
69. The proposal involves the construction of a five (5) storey building failing to comply with this numerical control. The non-compliance should be supported for the following reasons:
- The New City Plan outlines a scale of five stories on both the subject and neighbouring undeveloped sites within the local context.
 - The proposal generally satisfies the design principles contained within SEPP 65 and the Apartment Design Guide.
 - The building facades have been suitably articulated and modulated in order to reduce the visual scale of the building when viewed from both the neighbouring properties and the street.
 - No unreasonable level of amenity impact related to either privacy or overshadowing will result.

Height

70. The proposed development has a maximum height of 15.926m that fails to comply with the maximum height limit of 10.5m (H1) and 12m (H2) for residential flat buildings with a three (3) storey height limit. The non-compliance in relation to height was discussed earlier in this report.

Density

71. Council's DCP permits a density of 1.1m² of site area per m² of dwelling which in this instance equates to 1221m². In light of this, this development proposes a density of 2034.89m² or 1.5:1 that fails to comply with the above noted control. While non-compliant it should be supported for the following reasons:

- The New City Plan outlines a density of 1.5:1 or 2035m² which would be the applicable for the subject site. This proposal results in a density consistent with the maximum anticipated.
- The building maintains a suitable level of modulation and articulation throughout ensuring that any visual bulk is dispersed throughout the facades.
- The building will hold visual interest when viewed from Bembridge Street by providing a well-balanced façade that incorporates a range of materials and finishes in order to create visual interest while also reducing the perceivable scale of the building.
- The proposal satisfies the design principles contained in SEPP 65 and the Apartment Design Guide.

Setbacks

Front

72. The DCP requires a front setback of 5m to 7m for residential flat buildings. A maximum of 75% of the width of the building must be a minimum 5.0m with the remaining 25% setback a minimum of 7.0m. The proposed development provides a staggered front setback where 33% of the front wall is setback 5m, 27% is setback 5.87m and 40% is setback 7m. The proposal complies with Council DCP controls.

Side/Rear

73. In respect to side and rear setbacks, the proposal far exceeds the minimum setbacks as outlined in the DCP which stipulates the provision of 3m plus ¼ the amount that the wall height exceeds 3m. If applying the DCP, the building would require setbacks ranging from 3m to 6.3m. The proposal has been design in accordance with the ADG separation guidelines. It should be noted that building setbacks refer to the building line above the natural ground surface and are not applicable to basements. Council's DCP does not provide controls in relation to basement setbacks from side boundaries. While the Design Review Panel did seek to provide a 3m side setback from the basement to the side boundaries, this was in order to the meet minimum deep soil dimensions and allow for appropriate tree planting. This has been achieved without the provision of a 3m setback and has been discussed earlier in this report.

Site Coverage

74. A maximum site coverage of 45% is applicable to residential flat buildings equating to 610m² in this instance. The proposal provides 596m² of site coverage or 44% complying with Council controls.

Impervious Area

75. Residential flat buildings are to have a maximum impervious area of 55% equating to 745m² in this case.
76. The proposal does not comply with this requirement, having 68% (922m²) of impervious areas on the site. The variation is considered acceptable for the following reasons:
- Suitable deep soil landscaping is provided along the external perimeters of the site allowing for the planting of suitable trees and shrubs.
 - The building footprint of the proposed development is comparable to surrounding residential flat buildings ensuring that the proposal will not appear as an overdevelopment of the site.
 - A 3,000L rainwater tank is proposed as part of the stormwater plan that will reduce the amount of water from the site into Council's stormwater system.

Common Open Space

77. Common open space for residential flat building developments shall be provided at a rate of 30m² per dwelling for those units that have balconies as their only form of private open space. Therefore, a minimum of 540m² is required.
78. The proposed development incorporates 280m² of common open space area which it provides within both the rear and front of the site. The non-compliance should be supported as the scale of development is such where the total amount of common open space area provided is considered appropriate in both size and scale and would appropriately cater for the needs of future residents. Further, the ground floor has been raised by 500mm in order to better address the natural ground level at the rear of the site providing level access from the foyer to the primary common open space area along the rear while also ensuring that appropriate solar access that provides good amenity for the residents has been provided. A toddlers play space has also been provided which has been noted on the amended landscape plan

Private Open Space

79. The DCP requires a minimum area of 35m² of private courtyard space be provided for ground floor units with a minimum dimension of 3m. All ground floor units comply with this requirement. The upper level units provide minimum balcony area sizes that range from 10.12m² to 12m² with minimum dimensions that range from 2.15m to 2.83m. While non-compliant with the DCP controls, the balcony areas are adequate in both size and dimension to allow for appropriate use of the areas.

Other Requirements:

Solar Access

80. The DCP states that at least 50% of the primary open space area of the proposed development should have access to a minimum of 4 hour hours of sunlight between 9am and 3pm on 21 June. All units will receive the required amount of solar access. In addition, the DCP requires at least 50% of the neighbouring existing principal open space or windows to main living areas must receive a minimum of 3 hours of sunlight between 9am and 3pm on 21 June. The proposal satisfies this requirement.

Building Separation

81. As discussed earlier in this report, the proposed separation is considered to provide appropriate massing and space between the proposed building and the neighbouring dwelling/residential flat buildings. The proposed separation will not restrict the ability to provide visual and acoustic privacy, natural ventilation, sunlight, daylight access and outlook for both the subject and neighbouring buildings while suitable areas of deep soil zones and landscaping are still provided along the sites perimeters.

Privacy

82. The building separation combined with appropriate window placement and screening devices will ensure that there are no significant adverse visual privacy impacts resulting from the development. While concern was raised to the potential impact the proposal would have to the dwelling located to the south-west of the site, the balconies located off the living areas off units 6, 7, 11, 12, 16 and 17 are oriented either towards the street or the rear while the existing garage/carport located within the north-western corner of the neighbouring property at 23A Bembridge Street further reduces the ability of direct viewing into this property.

Traffic and Parking

83. In accordance with Council DCP controls a total of 41 spaces being 36 residential and 5 visitor spaces are required to be provided. Currently, the proposal provides 27 spaces being 23 residential and 4 visitor spaces resulting in a non-compliance with Council controls.
84. While a parking shortfall is presented, the NSW Government has recently adopted the "Apartment Design Guide" which will be used in conjunction with the State Environmental Planning Policy NO.65 - Design Quality of Residential Flat Development (SEPP 65). Objective 3J-I of the Design Guide states that sites within 800m of a railway station are to satisfy the minimum parking requirements specified in the RMS "Guide to Traffic Generating Developments" (October 2002).
85. The RMS Guidelines nominate that a high density residential flat building refers to a building containing 20 or more dwellings. As the proposed development contains 23 dwellings, the following parking requirements for high density residential flat buildings in Metropolitan Sub-Regional Centres have been adopted:
- | | |
|-----------------|-------------------------|
| 1 bedroom units | 0.6 space per dwelling |
| 2 bedroom units | 0.9 spaces per dwelling |
| 3 bedroom units | 1.4 spaces per dwelling |
| Visitor parking | 1 space per 5 dwellings |

86. Application of those requirements to the proposed development yields a parking requirement of 27 car parking spaces being 23 residential and 4 visitor. The proposal provides 27 spaces being 23 residential and 4 visitor complying with the RMS Guidelines.

Adaptable and Accessible Housing

87. The proposal includes three (3) adaptable units complying with Council controls.

Kogarah Development Control Plan 2013 Compliance Table

88. The following table outlines the proposals compliance with the primary controls contained within KDCP 2013.

Standard	DCP Requirement	Development Proposal	Compliance
Site Area	1000m ²	1356.9m ²	Yes
Min Frontage Width	20m	36.57m	Yes
No. Storeys	3	5	No
Density (1.1m ² of site area per m ² dwelling)	1221m ²	2034.89m ²	No
Building Envelope			
Height	10.5m (upper most habitable) 12m (overall)	15.96m	No
Setbacks	<p><i>Front</i></p> <p>A maximum of 75% of the width of the building must be a minimum 5.0m with the remaining 25% setback a minimum of 7.0m</p> <p><i>Side and rear</i></p> <p>3m plus ¼ the amount of wall height exceeds 3m (south-eastern elevation)</p>	See report	Yes
Other			
Adaptable Units	3	3	Yes

Common Open Space	540m ²	280m ²	No
Car Parking			
Resident	36 spaces	23 spaces	No
Visitor	5 spaces	4 spaces	

Section 94 Contributions

89. The proposed development requires payment of \$214,110.02 of Section 94 contributions based on the provisions of Council's Section 94 Plan for Precinct 2-Carlton.

(iv) any matters prescribed by the regulations, that apply to the land to which the development application relates,

90. Not applicable.

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

91. The proposed development is of a scale and character that is in keeping with other dwellings being constructed in the locality. Accordingly, the proposal is not considered to have a significant impact on the natural and built environment of the locality.

(c) the suitability of the site for the development,

92. It is considered that the proposed development is of a scale and design that is suitable for the site having regard to its size and shape, its topography, vegetation and relationship to adjoining developments.

(d) any submissions made in accordance with this Act or the regulations,

93. In accordance with the provisions of Section A2 – Public Notification of KDCP 2013 application was placed on neighbour notification for a period of fourteen (14) days adjoining property owners were notified in writing of the proposal and invited to comment. Five submissions were received raising the following concerns:

Incompatibility with the built form along Bembridge Street

Comment

94. It is acknowledged that the proposed building will be of an increased height and scale to that currently presented along Bembridge Street. Having said this, the numerous undeveloped sites in both the immediate and local context will eventually present a built form and scale comparative to that being proposed.

DCP non-compliances

Comment

95. The proposal was prepared giving consideration to the height and floor space standards outlined in the New City Plan which is currently with the Department of Planning for final gazettal. In respect to non-compliances with the DCP, variations to major controls being FSR, height and setbacks were considered minor in nature. Variations to the minor controls related to common open space and impervious area and details as to why these variations should be supported have been detailed in the body of this report.

Amenity issues

Comment

96. As discussed in the body of this report, the proposal is well resolved in relation to both privacy and shadowing. The proposed building is appropriately separated from the neighbouring residential flat buildings located to the north-east and north-west and the single level dwelling located to the south-west. The introduction of appropriate window placement and screening devices will ensure that no privacy impacts will result. Further, at least 50% of the neighbouring existing principal open space or windows to main living areas must receive a minimum of 3 hours of sunlight between 9am and 3pm on 21 June. The proposal satisfies this requirement.

Parking

Comment

97. As discussed in the body of this report, in accordance with the RMS Guidelines for Traffic Generating Development, the proposed development yields a parking requirement of 27 car parking spaces. The proposal provides 27 spaces complying with these requirements.

Tree Planting

Comment

98. In respect to the concern raised to the planting of the *Syncarpia glomulifera* (Turpentine) within the northern corner of the site, Council's Tree Management Officer outlined that a more suitable tree will need to be planted in this location which is to be of a native or exotic species. A consent condition will be imposed reflecting this.

Impact on garbage collection

Comment

99. *The proposal was reviewed by Council's Waster Officer who reviewed the proposal and found that the bin storage room is of suitable size to accommodate the required number of bins. It was also outlined that the transport of bins is satisfactory in being transported from the bin room, up the vehicle access driveway or alternatively, a caretaker/cleaner can transport them up the access lift.*

(e) *the public interest.*

100. The proposed development is of a scale and character that does not conflict with the public interest.

Conclusion

101. The application has been assessed having regard to the Heads of Consideration under Section 79C of the Environmental Planning and Assessment Act 1979, the provisions of KLEP 2012 and KDCP 2013.
102. Following detailed assessment it is considered that Development Application No 78/2016 should be approved subject to conditions.

SPECIFIC DEVELOPMENT CONDITIONS

SECTION A - General Conditions

The conditions that follow in this Section A of the Notice of Determination are general conditions which are imposed to ensure that the development is carried out in accordance with the development consent.

(1) Approved Plans of Consent

The development must be implemented in accordance with the approved plans, specifications and details listed below and any supporting information submitted with the Development Application except as amended by any conditions attached to the Development Consent:

- (i) Architectural plans- Prepared by Cornerstone Design Drawing numbers DA01 through to and including DA11 and DA14 Issue B submitted with Council on 26 October 2016
- (ii) Landscape plans – Prepared by Zenith Landscape Designs Drawing numbers 15-3148 L01 and L02 Dated 12 October 2016
- (iii) Stormwater plans- Prepared by United Consulting Engineers drawing number 08MB3290/D01, D02, D03 and D04 Issue G dated 27 October 2016

SECTION B –Prior to the Issue of a Construction Certificate or Demolition Conditions

The conditions that follow in this Section B of the Notice of Determination relate to the payment of fees, amendments being made to the proposal, further investigation being undertaken or the preparation of documentation that must be complied with prior to the issue of a Construction Certificate or Demolition.

Note: A copy of the Construction Certificate shall be forwarded to Council prior to commencement of construction where Council is not the certifier who issued the Construction Certificate.

(2) Asset & Building Fees

Payment of the following amounts as detailed below:

- Damage Deposit of \$37,200.00
- *Builders Long Service Levy of \$20,282.00
- Driveway Design and Inspection Fee (Dwelling) of \$ 750.00
- Parking Bay modifications Fee of \$ 2,450.00
- Asset Inspection Fee of \$ 110.00

*Note: The Builders Long Service Levy quoted is based on the market value of the proposed building works and the Levy Rate applicable at the time of assessing the Development Application and may be subject to change prior to payment.

(3) Section 94 Index

Section 94 Contributions are to be paid as detailed below in the following condition, and until paid all contributions will be indexed four (4) times a year (on the following dates) to allow for the cost increases: 31 January, 30 April, 31 July and 31 October.

(4) Section 94 Contributions

As at the date of Development Consent the following contributions have been levied on the subject development under Section 94 of the Environmental Planning and Assessment Act, 1979 and the nominated Section 94 Contributions Plans:

No.1 – Roads and Traffic Management – Residential	\$ 3,009.72
No.5 – Open Space 2007	\$203,227.71
No.9 – Kogarah Libraries – Buildings	\$ 4,595.80
No.9 – Kogarah Libraries – Books	\$ 3,276.80
TOTAL	\$214,110.02

Any of the above Section 94 Contributions Plans may be inspected at the Georges River Council Customer Service Centres.

(5) Dilapidation Report

Prior to issue of any construction certificate or commencement of any demolition or earth works on site, the applicant shall submit, for acceptance by the Principal Certifying Authority (PCA), with a copy forwarded to Council where Council is not the PCA, a full dilapidation report on the visible and structural condition of the following properties;

- (i) All neighbouring buildings likely to be affected by the excavation as determined by the consulting engineer.

The report must be completed by a suitably qualified consulting structural/ geotechnical engineer as determined necessary by that professional based on the excavations for the proposal, the subsoil conditions and any recommendations of a geotechnical report for the site. The report shall have regard to protecting the applicant from spurious claims for structural damage and shall be verified by all stakeholders as far as practicable.”

Reports relating to properties that refuse access to carry out inspections to complete the dilapidation report, after being given reasonable written notice to request access (at least 14 days) at a reasonable time (8.00am-6.00pm), are not to hold up the release of the Construction Certificate.

(6) Soil and Water Management

A Soil and Water Management Control Plan, incorporating contour levels and prepared in accordance with Environmental Site Management Policy shall be submitted to Council detailing all measures to control soil erosion and sedimentation runoff from the site during excavation and construction activities.

(7) SEPP No 65 Certification

A design verification statement from a qualified designer shall be submitted that verifying that the plans and specifications achieve the design quality of the development for which consent was granted having regard to the design quality principles of State Environmental Planning Policy No. 65.

(8) Adaptable Housing Compliance

The proposed development including the three nominated adaptable units shall comply with the adaptable housing provisions of AS4299 – Adaptable Housing and AS1498 – Access and Mobility (Parts 1 and 2). The Adaptable Housing checklist and circulation diagram demonstrating compliance shall be submitted.

(9) Ausgrid Sub Station

The applicant is to confer with Ausgrid to determine if an electricity distribution substation is required. If so, shall be incorporated within the Construction Certificate and it will be necessary for the final film survey plan to be endorsed with an area having dimensions 5m x 4m over the location of the proposed electricity distribution substation to be dedicated to Council as public roadway, or as otherwise agreed with Ausgrid. Ausgrid's requirements are to be met prior to release of the occupation certificate.

(10) Clearances to Overhead Mains

If any part of the proposed structure, within 5m of a street frontage, is higher than 3m above footway level, the applicant is to confer with Ausgrid to determine if satisfactory clearances to any existing overhead mains will be affected. If so, the applicant is to make arrangements with Ausgrid for any necessary modification to the electrical network in question.

These works to be at the applicant's expense and Ausgrid's requirements are to be met prior to actual construction commencing on site or as agreed with Ausgrid.

(11) Sydney Water (DA Only)

The approved plans must be processed through Sydney Water to determine whether the development will affect any Sydney Water asset's (sewer and water mains, stormwater drains and/or easements) and if any further requirements need to be met. An approval receipt will be issued by Sydney Water which is to be submitted to Council or the Principal Certifying Authority.

Please refer to the web site www.sydneywater.com.au for;

- Sydney Water Tap in – see Plumbing, building and developing and then Sydney Water Tap in; and
- Building over/adjacent to a Sydney Water Asset - see Plumbing, building and developing, building then Building Approvals or telephone 13 20 92.

(12) Landscape Plan

The proposed tree species (*Syncarpia glomulifera*) as noted in the tree species schedule is to be changed to a different less intrusive species being native or exotic.

SECTION C – Prior to Commencement of Construction Conditions

The conditions that follow in this Section C of the Notice of Determination are specific to the proposed development and must be complied with prior to the commencement of construction on the site.

(13) Geotechnical Report

Excavation of the site is to extend only to that area required for building works depicted upon the approved plans. All excess excavated material shall be removed from the site. In this regard, all excavated waste materials shall be disposed of at an approved Waste Depot.

No rock breaking or other machinery for the excavation, drilling, cutting or removal of rock shall be used on the site prior to the acceptance by the principal certifying authority of the following documentation:

- (i) A report by a geotechnical engineer detailing the measures recommended in undertaking the works so as to prevent damage to any adjoining or nearby buildings.
- (ii) The type and size of machinery proposed.
- (iii) The routes of all trucks to convey material to and from the site.

(14) Certification of Detailed Plan

The submitted stormwater plan has been assessed and approved as a concept plan only. No detailed assessment of the design has been undertaken. A Detailed Stormwater Plan and supporting information of the proposed on-site stormwater management system is to be submitted. The required details in this Plan and the relevant checklist are presented in Council's Water Management Policy.

The design parameters and the general concept of the proposed on-site stormwater management system are to be the same as documented in the approved Concept Stormwater Plan for the proposed development. Any conceptual variations to the stormwater design will require written approval from Council and will require to be justified and supported by appropriate details, calculations and information to allow for proper assessment.

(15) Rainwater Tank – Required for other than BASIX.

A 5m³ rainwater tank for rainwater storage and reuse is to be provided in accordance with the Stormwater Concept Plan and associated Design Assessment Report. The overflow from the tank is to be directed to the site drainage system. The mains top-up system is to be installed according to Sydney Water's guidelines entitled *Guidelines for rainwater tank on residential properties: Plumbing Requirements* April 2003 and its amendment November 2003.

(16) On-Site Detention

A 31.1m³ On-Site Detention system with a Maximum Site Discharge of 18.1 Litres per Second is to be provided in accordance with the Stormwater Concept Plan and associated Design Assessment Report. The overflow is to be directed to the site drainage system.

(17) Certification by Mechanical Engineer

To ensure that adequate provision is made for ventilation of the building, mechanical and /or natural ventilation shall be provided. These systems shall be designed in accordance with the provisions of:-

- a) The Building Code of Australia;
- b) Australian Standard AS 1668 Part 1 - 1998;
- c) Australian Standard AS 1668 Part 2 - 2002;
- d) The Public Health Act 2010;
- e) The Public Health Regulation 2012;
- f) Australian Standard 3666.1 - 2002;
- g) Australian Standard 3666.2 - 2002;
- h) Australian Standard 3666.3 - 2000.

Details of all mechanical and /or natural ventilation systems, along with specific certification, provided by an appropriately qualified person, verifying compliance with the abovementioned requirements.

(18) Structural Engineer's Details

Engineer's details prepared by a practising Structural Engineer being used to construct all reinforced concrete work, structural beams, columns & other structural members. The details are to be submitted to the Principal Certifying Authority for approval prior to construction of the specified works.

A copy shall be forwarded to Council where Council is not the PCA.

(19) Tree Protection

Prior to the commencement of any works on the site the tree protection measures required for the established Tree Protection Zone (TPZ) of the trees to be retained shall be installed in accordance with Section 4 - *Australian Standard AS 4970-2009 - Protection of trees on development sites*.

Unless otherwise specified in AS 4970-2009 a protective fence consisting of 1.8m high fully supported chainmesh shall be erected around the base of the tree. The distance of the fence from the base of each tree is to be in accordance with the TPZ listed below. A layer of organic mulch 100 millimetres thick shall be placed over the protected area and no soil or fill should be placed within the protection area.

There shall be no services installed within the drip line TPZ of the tree. This fence shall be kept in place during demolition, construction and also have a sign displaying "Tree Protection Zone" attached to the fence, this must also include the name and contact details of the Project Arborist.

(20) Protection of Site – Hoarding

A hoarding or fence must be erected between the work site and the public place if:

- the work involved in the erection or demolition of a building is likely to cause obstruction or inconvenience to pedestrian or vehicular traffic in a public place; or
- if it involves the enclosure of a public place.

If necessary an awning is to be erected which is sufficient to prevent any substance from or in connection with the work from falling into a public place.

Any such hoarding, fence or awning is to be removed when the work has been completed.

If the work site is likely to be hazardous to persons in a public place, it must be kept lit between sunset and sunrise.

(21) Ground Anchors

Should the proposed development require the installation of ground anchors to a road reserve the following must be complied with:

- The appropriate Roads Act 1993 approvals shall be obtained.
- The anchoring is to be de-stressed once no longer required.
- The work is to be clear of all services contained within the public roadway and the required dial before you dig investigations are to be undertaken in relation to any services that may be in the proposed anchor locations.
- Public liability insurances being held by the builder/ developer with a copy being submitted to Council.
- A works-as-executed plan showing the exact location of all anchoring points being submitted to Council upon their installation.

It is to be noted that if anchoring into adjacent private properties is required any such approval would need to be obtained from the owners of this property.

(22) Driveway

In respect to vehicular access to the proposed development the gutter crossing and driveway are to be reconstructed between the kerb and street alignment to Council's specifications.

In this regard a separate driveway application is to be lodged with Council for works outside the property boundary. Furthermore the design boundary level is to be received from Council prior to construction of the internal driveway.

(23) Council Infrastructure Inspection

Prior to the commencement of any works an authorised representative of the applicant is to organise and attend a meeting on site with Council's Infrastructure Compliance Co-ordinator to discuss protection of Council's infrastructure. To organise this meeting contact Council's Customer Service Centre on 9330 6400.

(24) Public Liability Insurance

All nominated contractors / applicants carrying out driveway and/or restoration works on Council property must carry public liability insurance with a minimum cover of twenty million dollars (\$20,000,000.00). In this regard, prior to commencement of works, the principal contractor is to lodge an “Application for the Construction of Work by Private Contractor” to Council, which includes submitting evidence of their current insurance. The principal contractor must ensure that sub-contractors are also adequately insured.

(25) Soil Erosion Controls

Prior to commencement of any site works, erosion and sediment controls are to be installed in accordance with Environmental Site Management Policy and any approved Soil & Water Management Plan and shall incorporate:

- Measures to prevent sediment and other debris escaping from the cleared or disturbed areas into drainage systems or waterways;
- Controls to prevent tracking of sand, soil, aggregates, etc, by vehicles onto adjoining roadways.

(26) Protection of Council’s Drainage system

Protection of the Council’s Drainage system will be the responsibility of the applicant. Sufficient asset protection measures must be undertaken by the applicant during construction. A security bond of \$37,300 will be required for the duration of all building works on and in association with the site.

(27) Pre development dilapidation report

A Pre-Development Dilapidation Report of the Council stormwater asset is to be submitted to Council. The dilapidation report is to include CCTV footage of the full extent of the Council stormwater asset within the property and is to include the inspection and notation of all visible defects and joints along the asset. This Dilapidation report is to be submitted to Council. Written approval of these requirements being met is to be received from Council’s Stormwater section prior to the issue of a Construction Certificate.

(28) Footing, piers and other load bearing structures

Footings, piers and any other load bearing structures in the vicinity of the Council stormwater asset are to be located so that all loads are transferred below the zone of influence of the stormwater asset or to bed rock. All load bearing structures must be located outside of the drainage easement. The footing schedule must be documented on the Detailed Structural plans and certification to this effect shall be provided by a suitably qualified structural engineer.

Prior to commencement of construction works on site the following are required to be submitted to Council:

- i. A statement from a suitably qualified Structural Engineer. The statement is to include:
 - a) a work procedure statement for the construction of the development to allow for protection of Council's Stormwater assets.

- b) specifying of the required setback distance (exclusion zone) for heavy vehicles or machinery from Council's Stormwater assets.
- ii. A copy of the current Product and Public liability insurance of 20 million dollars of the principal contractor undertaking the works is to be forwarded to Council.

(29) Stormwater junction

The existing Council stormwater junction pit and access cover within the new driveway shall be modified to suit the design driveway levels with all costs to be borne by the applicant. The junction pit and access cover are to meet or exceed Class Rating D in accordance with *AS3996 : 2006 - Australian Standard Load Classifications & Water Services Association of Australia (WSAA) Specification WSA PS-290*. The applicant is required to contact Council's Stormwater Section on 9330 9470 to organise a site meeting prior to these works commencing. No works are to be carried out on the pit until the applicant has received written approval from Council's Stormwater Section.

(30) Redundant driveways

The existing redundant driveways shall be removed and the adjacent paved parking bays extended in accordance with design plans issued by Council. The paved parking bay bricks are to be installed by Council with all associated costs to be borne by the applicant. Total Cost \$2,450.00.

SECTION D – Construction and Operational Conditions

The conditions that follow in this Section D of the Notice of Determination are imposed to ensure the development is constructed and operates having regard to relevant legislation and does not unreasonably impact on the amenity of the locality or environment during the construction phase or the operation of the use.

(31) Inspections -Multi Unit

The following lists of inspections are the **MANDATORY CRITICAL STAGE INSPECTIONS** that **MUST** be carried out by the Principal Certifying Authority (PCA).

- (a) at the commencement of building works
- (b) prior to covering waterproofing in any wet areas, for a minimum of 10% of rooms with wet areas within a building, and
- (c) prior to covering any stormwater drainage connections, and
- (d) after the building work has been completed and prior to any occupation certificate being issued in relation to the building.

Certificates from your engineer or subcontractor are **NOT** acceptable in the first instance for the above inspections. Failure to have your PCA carry out these inspections could result in a delay or refusal to issue an Occupation Certificate.

In addition to the above, it is recommended that the following inspections be carried out for the subject development;

- ☐ Erosion Control
- ☐ Earthworks/Excavation
- ☐ Building setout
- ☐ Concrete reinforcement
- ☐ Timber and/or steel framework

- ☐ Mechanical/Hydraulic work
- ☐ Driveways
- ☐ Landscaping
- ☐ External Finishes

(32) Storage of materials on Public Road

All building materials or waste containers must be stored within the confines of the site. The storage of such building materials, waste containers or equipment associated with the project upon the public roadway, including the pedestrian footway or unpaved verge, is prohibited.

(33) Use of Crane on Public Road

Prior approval must be obtained from Council a minimum of 24 hours before the use on any site of a crane, hoist or similar machinery that will be used to transfer materials across Council's footpath. This includes cranes that are situated on roadways, footpaths and road reserves.

Any application for approval must be accompanied by the following information:-

- Site sketch indicating the proposed location of the crane, pedestrian controls and traffic controls;
- A copy of current public liability insurance with minimum cover of twenty million dollars (\$20,000,000) indemnifying Council in the event of an incident;
- A copy of an RMS accredited traffic control plan;
- Proof that the local area command of the NSW Police have been advised of the proposal.

The use of a crane, hoist or similar machinery on any site without prior approval is prohibited.

(34) Building Height - Surveyors Certificate

The proposed building is not to be erected at a height greater than that indicated on the approved plan. A certificate from a Registered Surveyor verifying the correct Reduced Level of the ground floor slab and boundary clearances shall be submitted prior to inspection of the steel reinforcement.

(35) Excavation of Site

Excavation of the site is to extend only to that area required for building works depicted upon the approved plans. All excess excavated material shall be removed from the site. In this regard, all excavated waste materials shall be disposed of at an approved Waste Depot (details are available from Council).

All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.

All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.

If the soil conditions require it, retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil shall be provided and adequate provision shall be made for drainage.

(36) Stormwater to Kerb

Any stormwater connections to the kerb and gutter are to be in accordance with Council's *'Specification for Construction by Private Contractors'*.

(37) Redundant Driveway

All existing vehicular crossings adjacent to the subject premises that have become redundant shall be removed and the footway and kerb and gutter reinstated at the developer/applicants expense.

(38) Work within Road Reserve

A Development Consent or any related Construction Certificate does not allow for the erection of a structure or to carry out work in, on or over a public road. Should a structure or work be required a separate approval under S138 of the Road Act 1993 must be granted by Council prior to the commencement of any works within the road reserve. Applications may be made at Council's Customer Service Centre.

(39) Damage within Road Reserve & Council Assets

The owner shall bear the cost of restoring any footpath, roadway and any other Council assets damaged due to works at, near or associated with the site. This may include works by Public Utility Authorities in the course of providing services to the site.

(40) Public Utility & Telecommunication Assets

The owner shall bear the cost of any relocation or modification required to any Public Utility Authority assets including telecommunication lines & cables and restoring any footpath, roadway and any other Council assets damaged due to works at, near or associated with the site.

(41) Stormwater Drainage

All roof water and surface water from paved or concreted areas being disposed of to the street gutter by means of a sealed pipeline constructed in accordance with AS/NZS 3500.3.2. The line must pass through a silt arrestor pit, a standard design is available within Council's Water Management Policy.

(42) Garbage Room

The proposed garbage room being provided with the following:-

- a) A smooth concrete floor graded and drained to a floor waste connected to the sewer of the Water Board.
- b) The walls being cement rendered with the intersection of the walls and floor being coved to a radius of not less than 25mm.

- c) The door being close fitting to prevent the access of rats and mice.
- d) A cold water hose cock being provided for the cleaning of containers and the room itself.
- e) Ventilation being provided by means of direct connection to the outside air to the satisfaction of Council.
- f) A sign, minimum size 600mm x 600mm, directing residents not to place recyclables in garbage carts and encouraging residents to recycle. Details of an acceptable wording for the sign are available from Council.

(43) Hours of Construction

Construction may only be carried out between 7.00 am and 5.00 pm on Monday to Saturday and no construction is to be carried out at any time on a Sunday or a public holiday.

(44) Restriction on Hours of Excavation (other than single residential dwelling)

Despite the general hours of construction above,

- a) The hours where rock breaking, cutting, hammering and drilling occur shall be limited to 9:00am – 4:00pm on weekdays only.
- b) A noise management plan for the above works, prepared by a suitably qualified acoustical practitioner in accordance with the Interim Noise Construction Guidelines prepared by the Department of Environment & Climate Change NSW, must be submitted to Council prior to commencement of any excavation works.

(45) Provision of Amenities

Toilet facilities are to be provided, at or in the vicinity of the work site on which work involved in the erection or demolition of a building is being carried out, at the rate of one toilet for every 20 persons or part of 20 persons employed at the site or as specified by Workcover requirements .

- each toilet provided must be a standard flushing toilet and must be connected:
 - to a public sewer; or
 - if connection to a public sewer is not practicable, to an accredited sewage management facility approved by the Council; or
- if connection to a public sewer or an accredited sewage management facility is not practicable, to some other sewage management facility approved by the Council.

The provision of toilet facilities must be completed before any other work is commenced.

(46) Letter Boxes

Suitable letter box facilities (including Owner's Corporation in the case of strata units) shall be provided in accordance with Australia Post specifications.

(47) Oil/Silt Separator

An oil/silt separator sized to the catchment area must be specified on the Stormwater Detailed Plans and located downstream of the proposed basement car park and prior to discharge to councils stormwater system.

(48) Car Wash

To ensure that waste water is treated in an acceptable manner the car wash bay shall be designed and constructed to ensure that waste water is discharged to the sewer in accordance with the requirements of Sydney Water. Evidence of a permit issued by Sydney Water shall be submitted.

(49) Basix Certificate Details – DA Only

Construction of building works given Development Consent must be carried out in accordance with a valid and current BASIX certificate and all required commitments must be satisfied.

(50) Air Conditioning / Offensive Noise

Air conditioning plant and equipment shall be installed and operated so as to not create an offensive noise as defined under the Protection of the Environment Operations Act 1997 and Protection of the Environment Operations (Noise Control) Regulation 2008.

(51) Building Finishes

The building finishes are to be constructed in accordance with the colour board and perspective submitted with the Development Application.

(52) Allocation of Car Parking Spaces

A minimum of twenty seven (27) off street car parking spaces shall be constructed, drained, marked and maintained at all times in accordance with the approved plans. These spaces shall be allocated as follows:

- a) Twenty three (23) are to be allocated to the residential units.
- b) Four (4) are to be allocated as visitor parking spaces.

(53) Residential Car Parking Spaces

A minimum of one (1) unrestricted car parking space shall be allocated to each residential unit. Where a three (3) or more bedroom residential unit is provided within the development it is to be allocated two parking spaces in the first instance.

(54) Visitor Parking

A directional sign shall be provided at the front of the site indicating the availability of visitor and/or customer parking on site. Those visitor and/or customer spaces shall be marked or signposted.

(55) OSD Markers

All on-site stormwater storages that experience permanent or temporary ponding shall be indicated on the site by fixing a marker plate.

(56) Tree Protection - Excavation

Excavations around the trees to be retained on site or the adjoining properties shall be supervised by the Project Arborist to ensure that the root system will not adversely be affected.

Where the Tree Protection Zone (TPZ) of trees on site or adjoining sites become compromised by any excavation works, the Project Arborist shall be consulted to establish the position of any major roots and determine the necessary measures to protect these roots. The recommendations of the Arborist shall be submitted to Council prior to any further demolition or construction works taking place.

Tree Protection Zone (TPZ) around the trees to be retained are not to have soil level changes or services installed in this area. Any structures proposed to be built in this area of the trees are to utilise pier and beam or cantilevered slab construction.

(57) Tree Retention

The trees identified in the table below shall be retained and not damaged, pruned or removed without the prior approval of Council. These trees shall be protected in accordance with the requirements of Section 4 - *Australian Standard AS 4970-2009 - Protection of trees on development sites*.

Tree Species	Location of Tree/Tree No	TPZ
Callistomen viminalis	Street Tree outside 21 Bembridge Street/ Tree 1	3.6 metres
Callistomen viminalis	Street Tree outside 23 Bembridge Street/ Tree 16	3.6 metres
Chamaecyparis sp (pine)	23A Bembridge Street/ Tree 3	3.6 metres
Eucalyptus sp	11-17 Bembridge Street /Tree 4	2.4 metres
Cinnamomum camphora (Camphor laurel)	11-17 Bembridge Street/ Tree 5	2.4 metres
Eucalyptus sp	8-18 Shaftsbury Street/ Tree 6	4.8 metres

(58) Tree Removal

The trees identified in the table below may be removed:

Tree Species	Location on Site/Tree No	Work Required
Chamaecyparis obtusa (Pine)	19 Bembridge Street/ Tree 7	Removal
Moros nigra (Mullberry Tree)	19 Bembridge Street/ Tree 8	Removal
Cinnamomum camphora (Camphor laurel)	19 Bembridge Street/ Tree 9	Removal
Tristanopsis laurina (Water Gum)	21 Bembridge Street/ Tree 10	Removal
Plumeria acutifolia (Frangi panni)	21 Bembridge Street/ Tree 11	Removal
Araucaria hetrophylla (Pine)	23 Bembridge Street/ Tree 12	Removal
Moros nigra (Mullberry Tree)	23 Bembridge Street/ Tree 13	Removal
Photenia sp	23 Bembridge Street/ Tree 14	Removal
Araucaria hetrophylla (Pine)	23 Bembridge Street/ Tree 15	Removal

All tree removals are to be carried out by a certified Tree Surgeon/Arborist to ensure that removal is undertaken in a safe manner and complies with the AS 4373-2007 - Pruning of Amenity Trees) and Tree Works Industry Code of Practice (Work Cover NSW 1.8.98).

No trees are to be removed on the site or neighbouring properties without the prior written approval of Council.

(59) Tree Replacement

Six (6) canopy trees are to be planted within the subject site and not within 3 metres of any existing or proposed structures. The replacement tree/s should have a minimum pot size of 75 litres.

All replacement trees are to be planted, protected and maintained prior to the issue of the final occupation certificate.

(60) Roof and surface water

All roof water and surface water from paved or concreted areas are to be disposed of in accordance with the Stormwater Plan by means of a sealed pipeline constructed in accordance with AS/NZS 3500.3:2015.

Connection to Council stormwater pit

The connection to Council's stormwater pit is to be made as high within the pit as practical. The connection is to be neat and shall not protrude into the pit. The applicant is required to contact Council's Stormwater Section to inspect the connection to Council's stormwater pit prior to backfilling. A minimum of 24 hours notice is required for inspections. A Road Opening Permit will need to be lodged with Council for these works.

SECTION E – Prior to Occupation or Subdivision Certificate Conditions

The conditions that follow in this Section E of the Notice of Determination relate to conditions that ensure that the development is completed in accordance with the requirements of the Development Consent prior to the issue of either an Occupation Certificate or a Subdivision Certificate.

(61) Adaptable Housing Certification

Certification shall be provided by a person suitably accredited by the Association of Consultants in Access Australia, verifying that the development has been constructed in accordance with the requirements of AS4299 - *Adaptable Housing* and AS1428 - *Design for Access and Mobility* and in accordance with the report and checklist submitted with the Construction Certificate.

(62) SEPP No 65 Certification

A design verification statement from a qualified designer shall be submitted verifying that the development achieves the design quality of the development as shown in the plans and specifications in respect of which the construction certificate was issued, having regard to the design quality principals of State Environmental Planning Policy No. 65.

(63) Completion of Landscaping

Certification shall be provided from a suitably qualified and experienced Landscape Designer or Landscape Architect. This Certification shall verify that the landscape works have been completed in accordance with the approved detailed landscape plan and relevant conditions of this consent.

Note: A Landscape Designer is a person eligible for membership of the Australian Institute of Landscape Designers and Managers and a Landscape Architect is a person eligible for membership of the Australian Institute of Landscape Architects as a Registered Landscape Architect.

(64) Consolidation of Lots

The lots covered by this development consent shall be consolidated into one lot and proof of registration of the consolidation shall be submitted to Council.

(65) Section 73 Compliance Certificate

A Section 73 Compliance Certificate under the Sydney Water Act, 1994 must be obtained from Sydney Water Corporation.

Application must be made through an authorised Water Servicing Coordinator. Please refer to the Building Developing and Plumbing section of the web site www.sydneywater.com.au then refer to “Water Servicing Coordinator” under “Developing Your Land” or telephone 13 20 92 for assistance.

Following application a “Notice of Requirements” will advise of water and sewer infrastructure to be built and charges to be paid. Please make early contact with the Coordinator, since building of water / sewer infrastructure can be time consuming and may impact on other services and building, driveway or landscape design.

The Section 73 Certificate must be submitted to the Principal Certifying Authority.

(66) Stormwater Compliance Certificate

A Stormwater Compliance Certificate is to be obtained for the constructed on-site stormwater management systems in conjunction with the works-as-executed drawings and the final inspection. This Certificate is to be signed by an accredited hydraulic engineer (preferably be the original design consultant) and submitted to the Principal Certifying Authority. Copy of the standard Stormwater Compliance Certificate is shown in Council's Water Management Policy.

If the proposed works involve Council owned stormwater infrastructure (or infrastructure to be owned by Council), then the applicant should organise inspection with Council and pay Council the appropriate inspection fee. Inspection is to be carried out at the following specified stages:

- Prior to backfilling of pipelines trenches.
- Prior to backfilling of drainage connection to pipeline or channels.
- Prior to casting pits and other concrete structures including kerb and gutter, aprons, pathways, vehicular crossings, dish crossings and pathway steps.

(67) Positive Covenant

A Restriction on Use of the land and Positive Covenant shall be created and registered on the title of the property, which places the responsibility for the maintenance of the on-site stormwater management system on the owner of the land. The terms of the instrument are to be generally in accordance with the Council's standard terms and conditions for Restriction on Use of the land and Positive Covenant shown in Council's Water Management Policy.

(68) Maintenance Schedule

A Maintenance Schedule for the proposed on-site stormwater management measures is to be prepared and submitted. The Maintenance Schedule shall outline the required maintenance works, how and when these will be done and who will be carrying out these maintenance works.

(69) Fire Safety Schedule

Certain items of equipment or forms of construction shall be nominated as "fire safety measures" within the building.

Upon completion of works, and before occupation of the building, each of the fire safety measures is required to be certified by an appropriately competent person (chosen by the owner of the building). The certificate is to state that the measure was inspected and found to be designed, installed and capable of operating to a standard not less than that required by the relevant regulations.

Further, it is the responsibility of the owner of the building that each fire safety measure is again inspected and certified as to its condition every twelve (12) months following the submission to Council of the original certification.

(70) BASIX Completion Receipt

In accordance with clause 154C of the Environmental Planning and Assessment Regulation 2000, prior to issuing a final occupation certificate the certifying authority must apply to the Director-General for a BASIX completion receipt.

(71) Post construction Dilapidation report

A post-construction Dilapidation Report of the Council stormwater asset is to be submitted to Council. The dilapidation report is to include CCTV footage of the full extent of the Council stormwater asset within the property and is to include the inspection and notation of all visible defects and joints along the asset. The Security Bond may be released after a final inspection by Council's Stormwater section and upon Council's review and satisfaction of the submitted Dilapidation Report. The Dilapidation Report is to be carried out after all building works on and in association with the site have been completed.

SECTION F – Prescribed Conditions

The following are prescribed conditions of development consent pursuant to s.80A(11) of the Environmental Planning and Assessment Act 1979 and cl.98 of the Environmental Planning and Assessment Regulation 2000.

(72) Compliance with the Building Code of Australia

The development must be carried out in accordance with the provisions of the Building Code of Australia.

(73) Insurance Requirements under Home Building Act 1989

The builder or person who does the residential building work must comply with the applicable requirements of Part 6 of the Home Building Act, 1989. This means that a contract of insurance must be in force in accordance with Part 6 of that Act before any building work authorised to be carried out by the consent commences.

It is the responsibility of the builder or person who is to do the work to satisfy Council that they have complied with the applicable requirements of Part 6 of the Home Building Act, 1989.

If Council is the Principal Certifying Authority it will not carry out any inspections until a copy of the insurance certificate is received.

(74) Erection of Signs

A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:

- (a) showing the name, address and telephone number of the principal certifying authority for the work, and
- (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and

- (c) stating that unauthorised entry to the work site is prohibited.

The sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

(75) Notification of Home Building Act 1989 Requirements

Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the following information:

- (a) in the case of work for which a principal contractor is required to be appointed:
 - (i) the name and licence number of the principal contractor, and
 - (ii) the name of the insurer by which the work is insured under Part 6 of that Act,
- (b) in the case of work to be done by an owner-builder:
 - (i) the name of the owner-builder, and
 - (ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

If arrangements for doing the residential building work are changed while the work is in progress so that the information notified above becomes out of date, further work must not be carried out unless the principal certifying authority for the development to which the work relates (not being the council) has given the council written notice of the updated information.

(76) Shoring and Adequacy of Adjoining Property

If the development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent must, at the person's own expense:

- (a) protect and support the adjoining premises from possible damage from the excavation, and
- (b) where necessary, underpin the adjoining premises to prevent any such damage.

The above condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

(77) Council Notification of Construction

The erection of a building which is the subject of a Development Consent must not be commenced until:

- a) Detailed plans and specifications of the building have been endorsed with a construction certificate by Council or an accredited certifier.
- b) the person having the benefit of the development consent has:
 - appointed a Principal Certifying Authority (PCA), and
 - notified Council (if Council is not the PCA) *in writing* of the appointment, and

- given at least 2 days notice to Council of their intention to commence the erection of the building. The notice may be in writing or by phone.

SECTION G – Demolition Conditions

The following conditions are imposed to ensure the demolition associated with the proposed development is carried out having regard to relevant legislation and does not unreasonably impact on the amenity of the locality or environment.

(78) Demolition Conditions-Asbestos

- (a) Demolition of buildings where asbestos is determined to be present should only occur 7am – 5pm Monday to Saturdays, and must not occur on Sundays or Public Holidays, to ensure that the persons carrying out the work have access to WorkCover professionals if required.
- (b) All asbestos removal shall be undertaken in accordance with the requirements of WorkCover's 'How to Safely Remove Asbestos' Code of Practice and Council's Asbestos Policy.
- (c) Written notice must be provided to Georges River Council five (5) working days (excluding public holidays) prior to commencement of any works.

Written notice is to include the following details:

- Date the demolition will commence
- Name, address, contact details (including after hours) and licence number of the demolisher and asbestos removalist (if different)

Work must not commence prior to the nominated demolition date.

Note: it is the responsibility of the persons undertaking demolition work to obtain the relevant WorkCover licences and permits.

- (d) The owner is to notify all owners and occupiers of premises on either side, opposite and at the rear of the development site five (5) working days prior to demolition. Such notification is to be clearly written on A4 size paper stating the date the demolition will commence and is to be placed in the letterbox of every premises (including every residential flat or unit, if any). The demolition must not commence prior to the date and time stated in the notification.
- (e) A demolition or asbestos removal contractor licensed under the *Work Health and Safety Regulations 2011* must undertake removal of more than 10m² of bonded asbestos (or otherwise specified by WorkCover or relevant legislation).

Removal of friable asbestos material must only be undertaken by a contractor that holds a current AS1 Friable Asbestos Removal Licence.

- (f) Demolition sites that involve the removal of asbestos must display a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent visible position on the site to the satisfaction of Council's officers. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos has been removed from the site to an approved waste facility.
- (g) All asbestos waste must be stored, transported and disposed of in compliance with the Protection of the Environment Operations (Waste) Regulation 2005. All receipts detailing method and location of disposal must be submitted to Council as evidence of correct disposal.
- (h) A Clearance Certificate or Statement, prepared by a suitably qualified occupational hygienist must be provided to Council upon completion of demolition and asbestos related works, which confirms that the relevant legislative requirements in relation to safe removal and disposal have been satisfied.
- (i) A Work Cover Licensed Demolisher is to be engaged to carry out any demolition works using mechanical equipment where the structure is over 4 metres in height or to carry out any manual demolition works on a structure over 10 metres in height.
- (j) The provision of temporary fences and footpath crossing pads prior to commencement of demolition operations. Further, no waste materials or bins are to be placed on Council's roadways or footpaths.
- (k) No waste materials are to be burnt on site.
- (l) No trees as defined by Council's Tree Preservation Order being removed or damaged on the site without the prior written approval of Council.
- (m) Compliance with the provisions of Australian Standard AS 2601-1991:"The Demolition of Structures", which requires notification of demolition to be submitted at least seven (7) days prior to demolition to the NSW Workcover Authority.
- (n) Effective erosion and sediment control measures are to be undertaken during the course of demolition and building works in accordance with Council's 'Environmental Site Management Policy'. Failure to implement appropriate measures may result in a \$750 Penalty Infringement Notice (individual) and/or \$1,500 (corporation) being issued and/or the incurring of a maximum penalty of \$250,000 (corporation) or \$120,000 (individual) through the Land and Environment Court.
- (o) Appropriate measures are to be implemented on site to control dust and other air borne matter and demolition material is to be stored and stacked in a manner so as to minimise the risk of damage or nuisance to neighbouring properties.
- (p) Council being notified upon completion of the demolition works so that an inspection can be made of the roadway and footpath.

- (q) All non-recyclable demolition material being disposed of at an approved waste disposal depot. Details as to the method and location of disposal of demolition materials (weight dockets, receipts, etc.) should be kept as evidence of approved method of disposal.
- (r) A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
 - (a) showing the name, address and telephone number of the principal certifying authority for the work, and
 - (b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - (c) stating that unauthorised entry to the work site is prohibited.

The sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed

END CONDITIONS

Advisory Notes

(i) Worksite Safety

It is usually the owner/applicant's responsibility to ensure that the development site is a safe working environment. This may be by the engagement of an appropriately competent principal contractor. There are various legislative and WorkCover requirements with respect to maintaining a safe work-site. Details of these requirements and legislation, as well as, guidance and advisory material, can be found on the WorkCover Website www.workcover.nsw.gov.au.

(ii) Worksite Safety Scaffolding

Council is committed to worksite safety and requiring that all scaffolding is installed by competent and qualified professionals with the relative appropriate standards. The applicable Australian Standards for the scaffolding is AS/NZS1576 in respect of the design of the scaffolding and AS/NZS4576 with respect to the erection of the scaffolding. Also, you should ensure that those erecting scaffolding are appropriately qualified and have the appropriate qualifications to erect scaffolding. For further information regarding this please see www.workcover.nsw.gov.au.

(iii) Kid Safe NSW

Kidsafe NSW has produced Safer Homes for Children Design and Construction Guidelines for builders, renovators and home owners. The guidelines identify common hazards for children and recommended practical design applications to improve child safety for all areas of the home. Free copies of the Guidelines are available from Council's Customer Service Centre, or contact Kidsafe on (02) 9845 0890 or their website <http://www.kidsafensw.org/homesafety/index.htm> for more information.

(iv) Dial Before You Dig

Underground pipes and cables may exist in the area. In your own interest and for safety, telephone 1100 before excavation or erection of structures. Information on the location of underground pipes and cables can also be obtained by fax on 1300 652 077 or through the following website www.dialbeforeyoudig.com.au.

(v) Disability Discrimination Act

This authorisation does not imply that the proposal complies with *Disability Discrimination Act 1992*. The Proponent is responsible to ensure compliance with this and other anti-discrimination legislation. The *Disability Discrimination Act 1992* covers disabilities not catered for in the minimum standards called up in the Building Code of Australia which references AS 1428.1 – Design for Access and Mobility. AS1428 Parts 2, 3 & 4 provides the most comprehensive technical guidance under *The Disability Discrimination Act 1992*.

(vi) Demolition Waste

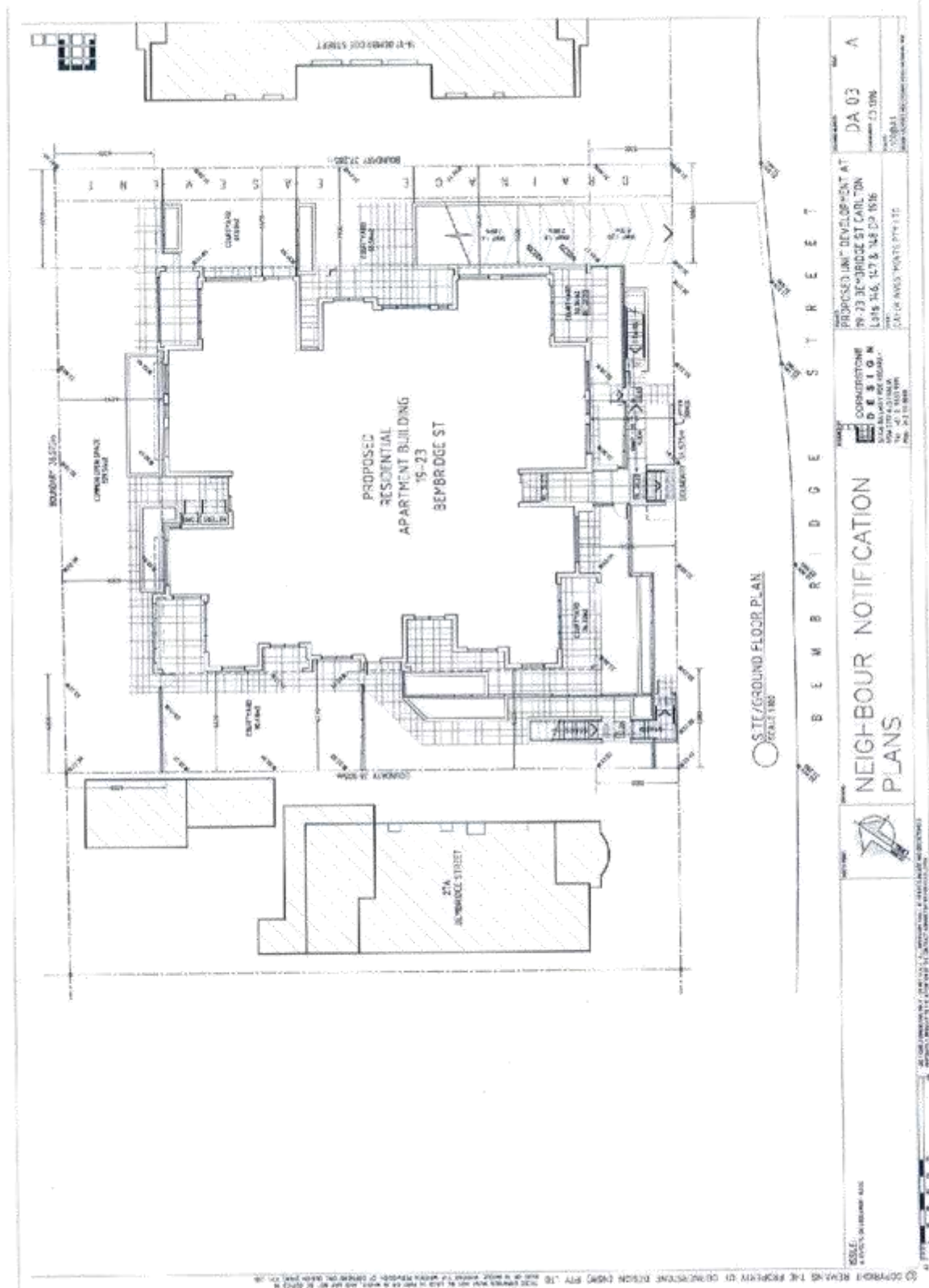
Sorting your construction and demolition waste will save you money. For pricing and disposal options for sorted loads of tiles, bricks, timber concrete or asphalt call Waste Service NSW on 1300 651 116.

(vii) Property Address

Property addresses shall be allocated by Council in accordance with the Addressing Standard AS/NZS 4819:2011.

ATTACHMENTS

Attachment [View](#)¹ A4 Plans

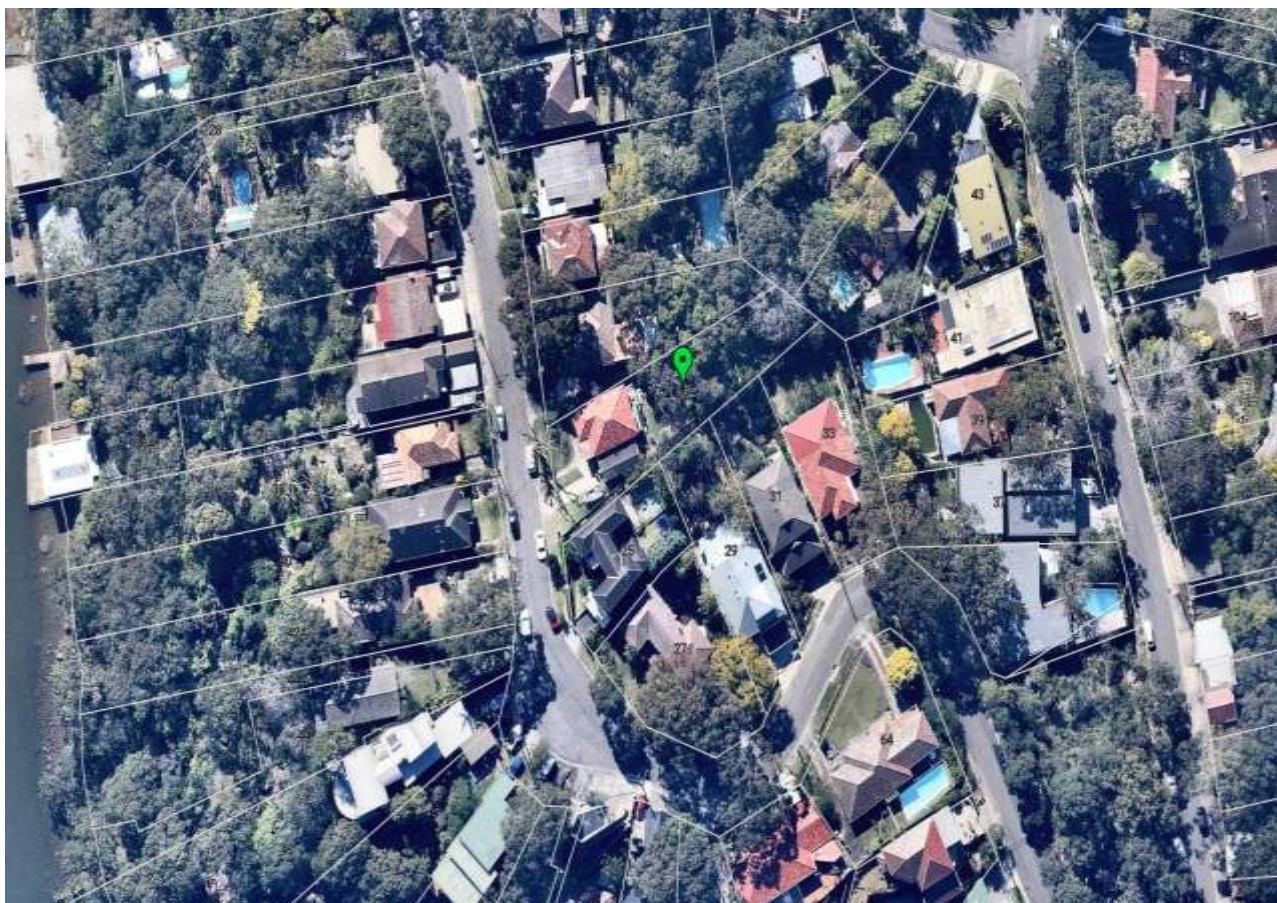


REPORT TO GEORGES RIVER COUNCIL IHAP MEETING OF THURSDAY, 24 NOVEMBER 2016

IHAP Report No	3.6	Development Application No	DA2015/0355
Site Address & Ward Locality	23 Marine Drive Oatley Peakhurst Ward		
Proposal	Demolition of existing, tree removal, construcion of two-three storey dwelling with swimming pool and outbuilding to rear		
Report Author/s	Team Leader Major Projects, Laura Locke		
Owners	Mr M Moussa		
Applicant	Zoabi Twadros Architect		
Zoning	Zone R2 - Low Density Residential		
Date Of Lodgement	12/10/2015		
Submissions	Originally - Ten (10) submissions received, Amended plans - Four (4) submissions received		
Cost of Works	\$1,520,000.00		
Reason for Referral to IHAP	Resubmitted tiem from IHAP, and four (4) submissions received to amended plans		

Recommendation	THAT the application be approved in accordance with the conditions included in the report
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Site Plan



EXECUTIVE SUMMARY

1. Development consent is sought for the demolition of the existing buildings and construction of a new multi-level single dwelling house with swimming pool and outbuilding to the rear.
2. The proposal development has been assessed against the requirements of the relevant planning instruments and Development Control Plans. With the exception of a variation to parapet height, the application complies in full subject to conditions of consent.
3. The bulk and scale of the development would be compatible with the desired future character of the locality and the development would not result in any significant detrimental amenity impacts on adjoining properties.
4. The application was notified in accordance with Development Control Plan No 1 on three (3) occasions due to amended plans being received. Following the most recent notification of the proposal, four (4) submissions were received.
5. The application was deferred from the IHAP meeting on 27 October 2016 for additional information relating to retaining walls, consistency in plans and geotechnical information relating to the proposed absorption trenches
6. The applicant has provided additional information which responds to the IHAP's reasons for deferral. Council's Team Leader Subdivision and Development has reviewed the information and considers it to be satisfactory.

RECOMMENDATION

THAT the application be granted approval in accordance with the conditions included in the report.

DESCRIPTION OF THE PROPOSAL

1. Development consent is sought for demolition of the existing structures, tree removal, construction of new part two (2), part three (3) storey dwelling, with swimming pool and a detached outbuilding to rear.

HISTORY

- | | | |
|----|------------|--|
| 2. | 12 Oct 15 | Application lodged |
| | 31 Oct 15 | Application notified |
| | 12 Apr 16 | Information requested |
| | 5 May 16 | Information provided |
| | 7 Jun 16 | Application renotified |
| | 5 Jul 16 | Applicant advised of issues with drainage |
| | 5 Sep 16 | Additional information provided |
| | 12 Sep 16 | Application renotified |
| | 27 October | Application considered at IHAP meeting where it was deferred for further information |

IHAP DEFERRAL

3. The application was reported to the IHAP meeting of 27 October 2016 with a recommendation for deferred commencement approval subject to conditions. The decision of the IHAP was as follows:

The Georges River Council IHAP as the delegate of the Georges River Council defers determination of Development Application No. 2015/0355 for the demolition of existing structures, tree removal, construction of new two/three storey dwelling with swimming pool and detached outbuilding to rear at 23 Marine Drive, Oatley and invites the applicant to submit the following for consideration by the IHAP:

- *Amended plans showing full details of any retaining structures and ensuring consistency between plans, elevations and dimensions.*
- *A Geotechnical report prepared by a suitably qualified practising geotechnical engineer that demonstrates the ground conditions are suitable for the proposed absorption trenches for the driveway surface runoff and roof waters from the proposed outbuilding. The Geotechnical report must include the permeability of the soil at both absorption trench locations, and make recommendations for the use of the absorption trenches when the soil is saturated.*

In response to the IHAP deferral the applicant has provided additional information including amended retaining wall detail and information from a Geotechnical Engineer stating that the proposed absorption trenches are adequate. The information includes results of borehole infiltration testing.

The Geotechnical Engineer has also advised the following:

The falling head permeability test is a common method used to determine the permeability of soils and rock. The results are then correlated to published data.

Based on the DCP test results and our observations during drilling, we expect that sandy/gravelly fill encountered in BH2 to extend down to a depth of 2m. Based on our experience and published data, the sandy/gravelly fill at BH2 location (Absorption Tank 1) will have a permeability in the order of at least 1×10^{-5} m/s.

The falling head test completed in BH1 indicates that the sand have a permeability of 1.29×10^{-5} m/s/m².

Note that the permeability values provided above are for fully saturated conditions and absorption trenches are considered suitable for this type of subsurface conditions provided that they are appropriately designed by a hydraulic engineer.

For the information of the Panel the following provides a summary of the proposed drainage system:

Main House:

- (a)** Roof water from the main house will be connected to a rainwater tank of 5000 litre capacity and overflow from the rainwater tank will be discharged to the street gutter within the property frontage by way of a charged stormwater line.

Hydraulic grade line analysis of the charged stormwater line is to be submitted to the Principal Certifying Authority approval to ensure the satisfactory operation of the proposed charged stormwater drainage system.

- (b)** Surface runoff from the driveway and other paved area will be connected to a properly sized absorption trench located at the rear of the main house. This system is to be designed in accordance with the recommendations of the geotechnical report prepared by eiaustralia and dated 4 November 2016 (Ref: E22990 GB_Rev4). Final drainage plan will be certified by both the applicant's hydraulic engineer and the geotechnical engineer.

Outbuildings:

- (a) Roof water from the proposed outbuildings will be connected to a rainwater tank of 5000 litre capacity. Overflow from this rainwater tank will be connected to an absorption trench located at the rear of the outbuilding.
- (b) This system is to be designed in accordance with the recommendations of the geotechnical report prepared by eiaustralia and dated 4 November 2016 (Ref: E22990 GB_Rev4). Final drainage plan will be certified by both the applicant's hydraulic engineer and the geotechnical engineer.
- (c) Overflow from the pool will be connected to Boards' sewer in accordance with Sydney Water regulations.

DESCRIPTION OF THE SITE AND LOCALITY

4. The site is a regular shaped site located on the eastern side of Marine Drive in Oatley. The site has a frontage of 20.08m and narrows to a width of 10.985m at the rear. The site is also very steep with a fall of 11m from front to rear. The total site area is 864.50sqm and is located within the Foreshore Scenic Protection Area.

A dwelling house and garage are currently located at the front of the site. The remainder of the site is vegetated by eleven (11) significant trees.

The surrounding properties are occupied by single dwelling houses with outbuildings and swimming pools. The area is characterised by similar low density residential development.

COMPLIANCE AND ASSESSMENT

5. The development has been inspected and assessed under the relevant Section 79C(1) "Matters for Consideration" of the Environmental Planning and Assessment Act 1979.

Environmental Planning Instruments***HURSTVILLE LOCAL ENVIRONMENTAL PLAN 2012***

6. The extent to which the proposal complies with the relevant standards of Hurstville Local Environmental Plan 2012 is outlined in the table below.

Clause	Standard	Assessment Under HLEP 2012
Part 2 – Permitted or Prohibited Development	R2 Low Density Zone	The proposal is defined as a dwelling house. Dwelling houses are permissible in the zone.
	Objectives of the Zone	The proposal complies with the objectives of the zone
4.3 – Height of Buildings	9m as identified on Height of Buildings Map	8.2m maximum
4.4 – Floor Space Ratio	Site = 864.5sqm 0.6:1 as identified on Floor Space Ratio Map	FSR = 0.53:1 (complies)

4.6 – Exception to Development Standards	Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard (CI 4.6 variation)	N/A
5.9 – Preservation of Trees or Vegetation	Trees to be removed are specified in DCP No 1 Section 3.11 – Preservation of Trees and Vegetation	The application requires the removal of eleven (11) trees from the site. Council's Tree Management Officer has assessed the proposal and raised no objections subject to replacement planting of six (6) mature trees.
6.4 – Foreshore Scenic Protection Area	<p>Council cannot grant consent to the carrying out of development on land within a Foreshore Scenic Protection Area unless consideration has been made of the following:</p> <p><i>(3)(a) affect the natural environment, including topography, rock formations, canopy vegetation or other significant vegetation, and</i> <i>(b) affect the visual environment, including the views to and from the Georges River, foreshore reserves, residential areas and public places, and</i> <i>(c) affect the environmental heritage of Hurstville, and</i> <i>(d) contribute to the scenic qualities of the residential areas and the Georges River by maintaining the dominance of landscape over built form.</i></p>	<p>The proposal will not impact on views to the foreshore, given the site topography and location of the dwelling in relation to the surrounding developments.</p> <p>The proposal is not likely to result in any impacts on any significant topographical feature or environmental heritage subject to conditions of consent.</p> <p>Significant vegetation removal is proposed, however this has been considered by Council's Tree Management Officer and no objections are raised subject to replacement planting.</p> <p>The proposal provides adequate useable landscaped areas on site. And maintains to the scenic qualities of the locality.</p>
6.5 – Gross Floor Area of Dwelling House	<p>$> 630\text{sqm} \leq 1000\text{sqm}$</p> <p>$(\text{Site Area minus } 630) \times 0.3 + 346.5 = 416.85\text{sqm}$</p>	<p>GFA of dwelling house = 367.65sqm</p>

<p>6.7 – Essential Services</p>	<p>The following services that are essential for the development shall be available or that adequate arrangements must be made available when required:</p> <ul style="list-style-type: none"> • Supply of water, electricity and disposal and management of sewerage • Stormwater drainage or on-site conservation • Suitable vehicular access 	<ul style="list-style-type: none"> • Adequate facilities for the supply of water and for the removal of sewage and drainage are available to this land. • Stormwater design acceptable. • Driveway access is accessed from Marine Drive and is satisfactory.
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GREATER METROPOLITAN REGIONAL ENVIRONMENTAL PLAN NO 2 – GEORGES RIVER CATCHMENT

7. The site is within the area affected by the Greater Metropolitan Regional Environmental Plan No 2 – Georges River Catchment. The proposal, including the disposal of stormwater, is consistent with Council's requirements for the disposal of stormwater in the catchment.

STATE ENVIRONMENTAL PLANNING POLICY NO 55 - REMEDIATION OF LAND

8. The subject site is zoned residential and has a history of residential uses as a dwelling house. As such it is considered unlikely that the land is contaminated.

Based on Council's records, the subject site has not been used for any potentially contaminating activities. As such, it is considered unlikely that the land is contaminated.

STATE ENVIRONMENTAL PLANNING POLICY (BUILDING SUSTAINABILITY INDEX: BASIX) 2004

9. A BASIX certificate has been submitted with the application. A condition has been included in the recommendation of this report requiring compliance with the commitments indicated in the BASIX Certificate.

Draft Environmental Planning Instruments

10. No Draft Environmental Planning Instruments affect the proposed development.

Any other matters prescribed by the Regulations

11. The Regulations prescribe the following matters for consideration for development in the Hurstville Council area:

Demolition

Safety standards for demolition and compliance with AS 2601 - 2001 apply to the demolition of any buildings affected by the proposal.

Development Control Plans

DEVELOPMENT CONTROL PLAN NO 1 – LGA WIDE – SECTION 3.1 CAR PARKING

12. Parking is provided for two (2) vehicles within a double garage in accordance with the Development Control Plan.

DEVELOPMENT CONTROL PLAN NO 1 – LGA WIDE - SECTION 3.4 CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

13. The extent to which the proposal complies with the requirements of this section of Development Control Plan No 1 is outlined in the table below.

Section 3.4	Requirement	Proposed	Complies
3.4.1.1 – Fencing	Front fence: preferred height of 1m	No details of front fencing have been proposed. Conditions recommended limiting any fencing to that permitted under exempt development.	Yes, subject to condition
3.4.1.4 – Entrances	Clearly visible and not confusing	Entrance is clearly visible	Yes
3.4.1.5 – Site and building layout	<ul style="list-style-type: none"> • Provide surveillance opportunities • Dwelling addresses street • Habitable rooms are directed towards the front of the building 	Dwelling complies with these requirements	Yes
3.4.1.6 – Landscaping	Avoid medium height vegetation with concentrated top to bottom foliage	Landscape plan prepared by qualified landscape architect or consultant will be required as a condition of consent.	Yes
3.4.1.8 – Building identification	Dwellings to be clearly numbered	Yes, can be provided	Yes

DEVELOPMENT CONTROL PLAN NO 1 – LGA WIDE - SECTION 3.5 ENERGY EFFICIENCY

14. The proposal has achieved a BASIX Certificate and therefore complies with the objectives of Section 3.5 of Development Control Plan No 1. The proposed development also complies with the solar access requirements of Development Control Plan No 1 – LGA Wide.

DEVELOPMENT CONTROL PLAN NO 1 – LGA WIDE - SECTION 4.1 SINGLE DWELLING HOUSES

15. The proposal has been assessed against the requirements of Section 4.1 of Council's Development Control Plan No 1 – LGA Wide as shown below.

Section 4.1	Standard	Proposed	Complies
4.1.3.1 Max. Floor Area	$> 630\text{sqm} \leq 1000\text{sqm}$ (Site Area minus 630) $\times 0.3$ $+ 346.5 = 416.85\text{sqm}$	GFA of dwelling house = 367.65sqm	Yes
4.1.3.2 Landscaped Areas (min. width 2m)	FSPA 25% of Site Area 15sqm of landscaped area to be provided in the front yard	28% (241.8sqm) >15sqm	Yes Yes

Private Open Spaces	Principal Private Open Space Min. dimension of 4m x 5m	7m x 13.2m	Yes
4.1.3.3 Building Height	Max. ridge height = 9m	8.2m	Yes
	Max. ceiling height to external wall = 7.2m	7.2m	Yes
	Max. parapet height 7.8m (for flat roof and other roof designs)	Max 8m	No (1)
4.1.3.4 Setback Controls	4.5m (to front wall of dwelling)	5.5m	Yes
Front Setback (Building Line):	5.5m to garage/carport or on-site parking space	7.44m	Yes
Side Boundary Setbacks:	900mm – ground floor level	0.9m – 1.5m	Yes
	1.5m – first floor level (FSPA)	1.5m	Yes
Rear Setback:	Ground floor level – 3m	>3m	Yes
	First floor level – 6m	>6m	Yes
Foreshore Building Line	May require greater setback. Refer to Clause 6.3 and associated maps in HLEP	N/A	N/A
4.1.3.5 Basements	Basements are < 1m above ground (otherwise assess as ground floor)	Part basement only due to fall of the site to be used as habitable spaces. Where basement exceeds 1m above ground level, it has been assessed as ground floor level.	Yes
	Within the footprint of the house	Yes	Yes
	Internal Floor to Ceiling min. 2.1m, max. 2.7m	2.7m	Yes
	> 1.5m excavation requires Geotech Report	Geotechnical report provided	Yes
4.1.3.6 Balconies & Terraces	Direct access from a habitable room (at same floor level)	Complies	Yes
	Overlooking impacts can be minimized with the use of privacy screens between 1.5m-1.8m high	Privacy screens provided	Yes

	Terraces must not be visible from the street	Rear terraces are not visible from the street	Yes
4.1.3.7 Façade Articulation	<p>Dwellings must have a front door or window to a habitable room fronting the street.</p> <p>Garage doors facing the street max. 40% of site width (sites > 12m wide)</p> <p>Must have two building elements of</p> <ul style="list-style-type: none"> - Entry feature / portico - Awning / feature over window - Eaves and sun shading - Window planter box - Bay windows or similar features - Wall offsets, balconies, verandas, pergolas 	<p>Provided</p> <p>35%</p> <p>Complies</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p>
4.1.3.8 Car Parking	<p>Min. 2 spaces for 3 bedrooms or more</p> <p>Garages must not extend further towards the front boundary than the front wall</p> <p>Driveway / access lanes / car park spaces max.40% of site width (sites < 12m wide)</p> <p>Driveway crossing width: between 2.7m and 4.5m</p> <p>AS2890.1 (2004) – Max. gradient of domestic driveway is 1 in 4 (25%)</p>	<p>2 spaces provided</p> <p>Due to the angle of the front boundary, although on plan it appears the garage projects forward of the front wall, the wall of the proposed study is actually closer to the front boundary. Garage setback 7.44m, front study setback 5.46m.</p> <p>(20.08m frontage) 35%</p> <p>4.686m but conditioned to comply.</p> <p>Conditioned to comply</p>	<p>Yes</p> <p>Yes</p> <p>Yes</p> <p>Yes, subject to condition</p> <p>Yes, subject to condition</p>
4.1.3.9 Visual Privacy	<p>Windows to be offset by 1m. Neighbouring principal private open space is not overlooked by proposed living areas.</p>	Satisfactory	Yes
4.1.3.10	Principal private open space	Subject lot is satisfactory.	Yes

Solar Design	of both the subject lot and adjoining lot must receive a minimum of 3hrs direct solar access between 9am and 3pm in mid winter (June)	Only the property to the south of the site at 25 Marine Drive is affected by the development. The primary private open space receives more than the minimum requirement of three hours sunlight midwinter which complies with the controls. It is noted that the swimming pool is overshadowed from midday mid winter but in summer is only overshadowed from 3pm onwards.	
4.1.3.11 Stormwater	Refer to Stormwater Assessment Table	Concept submitted	Yes

(1) Building Height - Maximum Parapet/Flat Roof Height

16. At the rear of the building, the parapet height is 8m above natural ground level which exceeds the 7.8m requirement by 0.2m. The variation is a result of the topography of the site and does not result in any amenity impacts on adjoining properties. The variation is minor and is acceptable.

Stormwater Assessment

Stormwater Assessment	
Existing Stormwater System	Gravity to Councils system
Proposed stormwater system	Dwelling charged to street Remainder of site to absorption trench at the rear
Stormwater objectives	Yes, subject to geotechnical information
Slope to rear (measured from centreline of site)	Yes
Gravity to street (from property boundary to street kerb)	Yes
Discharge to same catchment?	Partially
Easement required	No

17. The application proposes to charge the roof waters of the dwelling house to the street, the driveway surface waters are proposed to drain to an absorption trench in the middle of the site, and the roof and surface waters from the outbuilding are proposed to drain to a second absorption trench at the rear of the property. Council's Team Leader Subdivision and Development is satisfied with the proposal based on the additional information submitted.

DEVELOPMENT CONTROL PLAN NO 1 – LGA WIDE – SECTION 4.6 OUTBUILDINGS

Section 4.6 - Cabana	Standard	Proposed	Complies
4.6.2.3 External Finishes	Low reflectivity	Complies	Yes
4.6.2.4 Maximum Height	3m from ceiling or top plate height to natural ground level	3m in south eastern corner	Yes
4.6.2.6 Stormwater	To comply with relevant Council policy, BCA and Australian Standard	Conditioned to comply	Yes, subject to condition
4.6.3.1 Garages, Gyms, Cabanas and Sheds	Must be setback 500mm from any boundary	Side setbacks: min 0.9m Rear setback: min 5.36m	Yes

DEVELOPMENT CONTROL PLAN NO 1 – LGA WIDE – SECTION 5.7 SWIMMING POOLS AND SPAS

Section 5.7	Standard	Proposed	Complies
5.7.2.1 - Pool Siting	On steeply sloping sites, Council may consider allowing one point or along one side to extend up to 1m above NGL, provided that the exposed face of the pool is treated to minimise impact	Pool is up to 3m below ground level as it is excavated into the site	Complies
	Filling is not permitted between the swimming pool and property boundary	Complies	Yes
	Drainage not to affect natural environment or adjoining properties	Subject to condition	Yes, subject to condition
	Swimming pools are permitted on land affected by a foreshore building line subject to their design complementing the surrounding area and minimising visual impact from waterways	N/A	N/A
5.7.2.1 – Side Setbacks	Pool edge must be setback at least 1.5m from any side or rear boundary	Min. 1.5m	Yes
5.7.2.2 - Noise Control and Nuisances	The position of the swimming pool and ancillary equipment must be minimised to reduce the impact of noise on adjoining neighbours	Pool equipment is to be located underneath the deck. Standard conditions have been included in this report for noise attenuation measures	Yes
5.7.3 –	Tree and shrub planting is to	As the pool is excavated	N/A

Landscaping	be provided along the adjoining property boundary lines to achieve a reasonable level of privacy	into the site, there would be no unreasonable privacy impacts and planting is not required	
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18. As can be seen from the table above, the proposal complies with Section 5.7.

Impacts

Natural Environment

19. As discussed throughout this report, the proposed development requires significant vegetation removal. Even so, Council's Tree Management Officer is satisfied that six (6) replacement trees would be sufficient to mitigate the loss.

The application also requires significant excavation of the site at various points to provide functional outdoor spaces. This excavation is common throughout the locality and would not have any significant detrimental impact on the natural environment.

Built Environment

20. With the exception of the parapet height, the proposed development complies with all development standards and controls. The development would not result in any significant amenity impacts and is consistent with the changing character of the Oatley locality.

In this regard, the development would not result in any significant detrimental impacts on the building environment.

Social Impact

21. The proposal is for a residential purpose and will not have any adverse social impact.

Economic Impact

22. The proposal is for a residential purpose and no adverse economic impact is envisaged.

Suitability of the Site

23. For the reasons provided throughout this report, although the site is constrained by its topography, the site is found to be suitable for the proposed development.

REFERRALS, SUBMISSIONS AND THE PUBLIC INTEREST

Resident

24. The application was notified on three (3) occasions following receipt of amended plans. Adjoining residents were notified by letter and given fourteen (14) days in which to view the plans and submit any comments on the proposal.

Following the first notification period, ten (10) submissions were received and significant amendments were made to the development. The second notification period generated eight (8) submissions, and following the third and final notification period, four (4) submissions were received. It is noted that throughout the three (3) submission periods, the submitters comprised the same group of residents. The issues raised are addressed below.

Asbestos Removal

25. No details have been provided in relation to the removal of asbestos (fibro) from the site.

Comment: The removal of asbestos is regulated by WorkCover NSW and conditions of consent are recommended to ensure compliance.

Air Conditioning

26. Details of air conditioning have not been provided.

Comment: As no details of air conditioning have been provided, no approval is granted under this consent. As such, any future air conditioning must be provided in accordance with SEPP (Exempt and Complying Development Codes) 2008.

Building Form

27. The building is large and dominant.
The development is not sympathetic to the character of the area.
The development does not adequately respond to the topography of the site.
The entertainment area is too high.

Comment: The development complies with both the height and floor space ratio development standards and generally complies with the relevant development controls that relate to bulk and scale including setbacks and external wall height.

The development has been amended to provide additional steps in the building in an attempt to follow the topography of the site and achieve compliance with the external wall height. The entertainment area has also been reduced in height so it does not exceed 3m above natural ground level.

The proposal is consistent with the type of development envisaged for the area by the Development Control Plan.

Zoning

28. The proposed development is for a dual occupancy which is not permissible in the zone.

Comment: The proposed development is for a single dwelling house with outbuilding which is permissible in the R2 Low Density Residential Zone.

Landscape

29. Insufficient landscaped area is provided.

Comment: The proposed development provides landscaped open space in excess of Council's requirements.

Building Separation

30. Insufficient building separation is provided impacting privacy and seclusion.

Comment: The proposal complies with all minimum setback requirements of Development Control Plan No 1.

Noise

31. The development will result in excessive noise.
Noise will be spread out across the site as it will be generated from both the house at the front of the site and the BBQ area at the rear impacting all neighbours.

Comment: The proposal is for a single dwelling house and therefore the noise likely to be generated by the development would be consistent with other low density residential developments in the area. It is noted that concerns are raised about the location of the BBQ area. The BBQ area and pool are excavated up to 3m below natural ground level at the rear of the property which will buffer the properties that adjoin the side boundaries from any noise impacts. Further, the outbuilding has been designed to be primarily orientated towards the pool area which will further reduce noise to properties at the rear.

Number of Residents

32. The development could result in up to three (3) families living on the same site.

Comment: The development is designed as a single dwelling house and no approval is given for the use of the property for any form of multi-dwelling house. The outbuilding at the rear is for entertainment purposes only, and is not to be used as a separate dwelling.

Privacy

33. The development overlooks neighbouring properties.

Comment: Openings within the side elevations are minimal and would not result in any significant overlooking. Privacy screens have now been included on the sides of each balcony to also protect the amenity of the adjoining properties to the north and south. It is noted that the balconies to the rear of the dwelling will overlook the properties at the rear of the site due to the topography of the land, however there is significant separation of over 35m which is considered acceptable to prevent major impacts on privacy.

The proposed cabana is single storey and is excavated into the site to minimise any impacts. Subject to conditions to raise the sill levels of the windows in the rear elevation, it is not considered there would be any significant privacy impact arising from this building.

Stormwater

34. In heavy rainfall, water currently flows from the site through the properties at the rear. Insufficient details of drainage are provided.
Increased impervious area will exacerbate the existing runoff issue.
The Geotechnical information submitted to support the absorption trenches is inadequate.

Comment: Council's Team Leader Subdivision and Development has assessed the development. Following the deferral of the item from the IHAP meeting on 27 October the applicant has provided additional information to the satisfaction of council officers.

The geotechnical information submitted demonstrates that the proposed drainage system is adequate.

Excavation and Construction

35. Excavation will cause air and noise pollution.

Excavation will damage adjoining properties.

The geotechnical investigation is preliminary only and cannot appropriately guide excavation on site.

The extent of excavation and retaining walls is excessive, a risk to adjoining properties, and a civil engineering report should be provided.

Comment: A construction management plan will be required to be submitted prior to the issue of the Construction Certificate to address these issues. In addition, hours of work will be limited to between 7am and 5pm Monday to Saturday in accordance with Council's standard conditions.

Due to the level of excavation proposed, conditions are also recommended requiring a full geotechnical report to be completed prior to the issue of the Construction Certificate and dilapidation reports to be carried out on all adjoining properties pre and post works.

Trees

36. Trees on the site should be retained.
The development will affect trees on adjoining properties.
The removal of trees will affect habitat for wildlife.

Comment: Council's Tree Management Officer has assessed the application and raised no objections to the removal of the trees from the site subject to replanting of six (6) Sydney Red Gum (*Angophora Costata*) on the property.

The trees on the adjoining sites have also been considered and an arborist report has been provided with the application. Council's Tree Management Officer is satisfied that the Sydney Red Gum on the adjoining site can be retained with tree protection measures in place including hand excavation. Separate consent has also recently been granted for the removal of the Jacaranda tree at 21 Marine Drive that would have been affected by the development.

The site is not identified as containing critical habitat or threatened species.

Outbuilding

37. The outbuilding is of a size and design that could be used as a separate dwelling.

Comment: The application does not seek consent for use of the outbuilding as a separate dwelling. Consent will only be granted for the use of the site as a single dwelling house with entertainment area and gym. Any use of the outbuilding as a separate occupancy would be in breach of the consent and subject to enforcement.

Documentation

38. The submitted documentation refers to dual occupancy and duplexes.

Comment: It is noted that some of the documentation including the Statement of Environment Effects makes reference to a dual occupancy development in error. The application has been assessed as a single dwelling house only and the submitted plans are consistent with the proposal. The description of development on the determination will refer to a single dwelling house and a condition is recommended to ensure the site is used for single occupancy only.

Traffic and Parking

39. Traffic and parking will be congested and Marine Drive does not have capacity for any increase.
The proposed double garage is insufficient.

Comment: The site is currently occupied by a single dwelling house and a new replacement single dwelling house is proposed to be built. Although larger in size, the use of the site as a single dwelling will not intensify. A double garage is proposed providing parking in accordance with the Development Control Plan and a third car would be able to park within the driveway. Traffic and parking congestion is not envisaged to increase as a result of this development.

Council Referrals

Team Leader Subdivision and Development

40. Council's Team Leader Subdivision and Development has reviewed the additional information and advises that the proposal is acceptable subject to conditions.

Tree Management Officer

41. Council's Tree Management Officer has raised no objections to the proposed subject to replacement planting of six (6) *Angophora costata* on the site with a minimum pot size of 75 litres.

External Referrals

42. None required.

CONCLUSION

43. Development consent is sought for the demolition of the existing buildings, tree removal and construction of a new multi-level single dwelling house with swimming pool and detached outbuilding to the rear.

The proposal development has been assessed against the requirements of the relevant planning instruments and Development Control Plans. With the exception of a variation to parapet height, the application complies in full subject to conditions of consent.

The proposed development does not result in significant detrimental amenity impacts on adjoining properties.

The application was notified in accordance with Development Control Plan No 1 on three (3) occasions due to amended plans being received. Following the most recent notification of the proposal, four (4) submissions were received.

Subject to conditions of consent, the application is recommended for deferred commencement approval.

DETERMINATION

44. THAT pursuant to Section 80(1) of the Environmental Planning and Assessment Act, 1979, as amended, the Council grants consent to Development Application DA2015/0355 for the demolition of existing structures, tree removal, construction of new two-three storey dwelling with swimming pool and detached outbuilding to rear on Lot 248 in DP 11934 and known as 23 Marine Drive Oatley, subject to the following:

Schedule A – Site Specific Conditions

GENERAL CONDITIONS

These conditions have been imposed to ensure that the development is carried out in accordance with the approved plans and to ensure that the appropriate fees and bonds are paid in relation to the development.

1. GEN1001 - **Approved Plans** - The development must be implemented in accordance with the approved plans and supporting documentation listed below which have been endorsed by Council's approved stamp, except where marked up on the plans and/or amended by conditions of this consent:

Reference No.	Date	Description	Revision	Prepared by
DA01	02.05.2016	Site Plan	A	ZTA Architects
DA02	02.05.2016	Site Analysis Plan	A	ZTA Architects
DA03	02.05.2016	Lower Ground Floor Plan	A	ZTA Architects
DA04	02.05.2016	Ground Floor Plan	A	ZTA Architects
DA05	02.05.2016	Ground Floor Plan (Entertainment Area)	A	ZTA Architects
DA06	02.05.2016	First Floor Plan	A	ZTA Architects
DA07	02.05.2016	Roof Floor Plan	A	ZTA Architects
DA08	02.05.2016	Roof Floor Plan (Entertainment Area)	A	ZTA Architects
DA09	02.05.2016	Northern Elevation	A	ZTA Architects
DA10	02.05.2016	Eastern Elevation	A	ZTA Architects
DA11	02.05.2016	Southern Elevation	A	ZTA Architects
DA12	02.05.2016	Western Elevation	A	ZTA Architects
DA13	02.05.2016	Elevations 01 (Entertainment Area)	A	ZTA Architects
DA14	02.05.2016	Elevations 02 (Entertainment Area)	A	ZTA Architects
DA16	02.05.2016	Section 2	A	ZTA Architects
DA20	02.05.2016	Schedule of Colours and Finishes	A	ZTA Architects
-	29.09.2015	Arboricultural Report and Construction Impact Assessment	-	NSW Tree Services Pty Ltd
-	28.04.2016	Addendum Arboricultural Report and Construction Impact Assessment	-	NSW Tree Services Pty Ltd

2. GEN1002 - **Fees to be paid to Council** - The fees listed in the table below must be paid in accordance with the conditions of this consent and Council's adopted Fees and Charges applicable **at the time of payment.**

Payments must be made prior to the issue of the Construction Certificate or prior to the commencement of work (if there is no associated Construction Certificate).

Please contact Council prior to the payment of Section 94 Contributions to determine whether the amounts have been indexed from that indicated below in this consent and the form of payment that will be accepted by Council.

Form of payment for transactions \$500,000 or over - Council will only accept Bank Cheque or Electronic Funds Transfer (EFT) for transaction values of \$500,000 or over. Council must be contacted prior to payment to determine correct total amount to be paid and bank account details (if applicable)

(a) Fees to be paid:

Fee types, bonds and contributions

Fee Type
Long Service Levy (to Long Service Corporation)
Builders Damage Deposit
Inspection Fee for Refund of Damage Deposit

The following fees apply where you appoint Council as your Principal Certifying Authority (PCA). (If you appoint a private PCA, separate fees will apply)

PCA Services Fee	\$2,500.00
Construction Certificate Application Fee	\$2,500.00
Construction Certificate Imaging Fee	\$236.00

Fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

3. GEN1014 - **Long Service Levy** - Submit evidence of payment of the Building and Construction Industry Long Service Leave Levy to the Principal Certifying Authority. Note this amount is based on the cost quoted in the Development Application, and same may increase with any variation to estimated cost which arises with the Construction Certificate application. To find out the amount payable go to www.lspc.nsw.gov.au or call 131441. **Evidence of the payment of this levy must be submitted with the Construction Certificate application.**
4. GEN1015 - **Damage Deposit - Minor Works** - In order to insure against damage to Council property the following is required:
 - (a) Payment to Council of a damage deposit for the cost of making good any damage caused to any Council property as a result of the development: **\$1,900.00.**
 - (b) Payment to Council of a non refundable inspection fee to enable assessment of any damage and repairs where required: **\$145.00.**
 - (c) At the completion of work Council will inspect the public works, and the damage deposit will be refunded in full upon completion of work where no damage occurs. Otherwise the amount will be either forfeited or partly refunded according to the amount of damage.

- (d) Prior to the commencement of work a photographic record of the condition of the Council nature strip, footpath and driveway crossing, or any area likely to be affected by the proposal, shall be submitted to Council
- (e) Payments pursuant to this condition are required to be made to Council before the issue of the Construction Certificate.
- (f) Fees and charges above are subject to change and are as set out in the version of Council's Schedule of Fees and Charges or as required by other Government Authorities, applicable at the time of payment.

SEPARATE APPROVALS UNDER OTHER LEGISLATION

These conditions have been imposed to ensure that the applicant is aware of any separate approvals required under other legislation, for example: approvals required under the Local Government Act 1993 or the Roads Act 1993.

5. APR6001 - Engineering - Section 138 Roads Act and Section 68 Local Government Act 1993

Unless otherwise specified by a condition of this consent, this Development Consent does not give any approval to undertake works on public infrastructure.

A separate approval is required to be lodged and approved under **Section 138 of the Roads Act 1993** and/or **Section 68 of the Local Government Act 1993** for any of the following activities carried out in, on or over a public road (including the footpath):

- (a) Placing or storing materials or equipment;
- (b) Placing or storing waste containers or skip bins;
- (c) Erecting a structure or carrying out work
- (d) Swinging or hoisting goods over any part of a public road by means of a lift, crane or the like;
- (e) Pumping concrete from a public road;
- (f) Pumping water from the site into the public road;
- (g) Constructing a vehicular crossing or footpath;
- (h) Establishing a "works zone";
- (i) Digging up or disturbing the surface of a public road (e.g. Opening the road for the purpose of connections to utility providers);
- (j) Stormwater and ancillary works in the road reserve; and
- (k) Stormwater and ancillary to public infrastructure on private land
- (l) If any excavation is to be supported by the use of below ground (cable) anchors that are constructed under Council's roadways/footways.

These separate activity approvals must be obtained and evidence of the approval provided to the Certifying Authority prior to the issue of the **Construction Certificate**.

The relevant Application Forms for these activities can be downloaded from Georges River Council's website at: www.georgesriver.nsw.gov.au

For further information, please contact Council's Customer Service Centre on (02) 9330 6400.

6. **APR6002 - Engineering - Vehicular Crossing - Minor Development** - Constructing a vehicular crossing and/or footpath requires a separate approval under *Section 138 of the Roads Act 1993* prior to the issue of the **Construction Certificate**.

To apply for approval, complete the *Driveway Crossing on Council Road Reserve Application Form* which can be downloaded from Georges River Council's Website: www.georgesriver.nsw.gov.au

Lodge the application form, together with the associated fees at Council's Customer Service Centre, during business hours. Refer to Section P1 and P2, in Council's adopted *Fees and Charges* for the administrative and inspection charges associated with Vehicular Crossing applications.

Please note, that an approval for a new or modified vehicular crossing will contain the approved access and/or alignment levels which will be required to construct the crossing and/or footpath. Once approved, all work shall be carried out by a private contractor in accordance with Council's *Specification for Vehicular Crossings and Associated Works* prior to the issue of the **Occupation Certificate**.

7. **APR6004 - Engineering - Road Opening Permit** - A Road Opening Permit must be obtained from Council, in the case of local or regional roads, or from the Roads and Maritime Services, in the case of State roads, for every opening of a public road reserve to access services including sewer, stormwater drains, water mains, gas mains, and telecommunications **before the commencement of work in the road**.

REQUIREMENTS OF OTHER GOVERNMENT AGENCIES

These conditions have been imposed by other NSW Government agencies either through their role as referral bodies, concurrence authorities or by issuing General Terms of Approval under the Integrated provisions of the Environmental Planning and Assessment Act 1979.

8. **GOV1007 - Sydney Water - Quick Check** - The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Care Centre to determine whether the development application will affect Sydney Water's sewer and water mains, storm water drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately stamped. For Quick Check agent details please refer to Sydney Water's website: www.sydneywater.com.au

PRIOR TO THE ISSUE OF THE CONSTRUCTION CERTIFICATE

These conditions either require modification to the development proposal or further investigation/information prior to the issue of the Construction Certificate to ensure that there is no adverse impact.

9. **CC2006 - Development Assessment - Window Privacy** - The sill height of the window/s to the rear elevation of the outbuilding serving the gym, bar and powder room are to be increased to be a minimum height of 1.6m above floor level.
10. **CC2017 - Development Assessment - Design change - Driveway width** - The vehicular access driveway width must be reduced from the proposed 4.686m to achieve a maximum allowed width of 4.5m at the front boundary. Any front fence or gate opening adjustments required as a result of this reduction must be illustrated on the plans lodged with the application for the Construction Certificate.

11. CC3001 - Development Engineering - Stormwater System

Reference No.	Date	Description	Revision	Prepared by
2015328 H2	2/09/2016	Hydraulic details	2	ANA Civil Pty Ltd

The above submitted stormwater plan has been assessed as a concept plan only and no detailed assessment of the design has been undertaken.

- (a) All roof waters and all overflows from any rainwater tank shall drain to Council's kerb and gutter directly in front of the development site by a suitably designed charged drainage system.

All outlets from any charged system must be constructed at 45 degrees to the direction of flow in the street gutter.

Hydraulic Grade Line analysis of the proposed charged stormwater line shall be submitted for the approval of the Principal Certifying authority.

The design of this proposed drainage system must be prepared by a qualified practicing hydraulics engineer (with details of qualifications being provided) and be submitted for approval **with the Construction Certificate application**.

- (b) All surface water runoff such as driveway/footpath from the main house shall drain to a suitably designed absorption trench in the rear yard. Such trenches must be located at least 3m from any property boundary and be constructed across the contour of the land.

The design of this proposed drainage system must be prepared by a qualified practicing hydraulics engineer (with details of qualifications being provided), in consultation with the geotechnical engineers' eiaustralia.

Reference shall be made to the borehole infiltration testing results and reports dated 4 November 2016, E22990 GB_Rev4 prepared by eiaustralia and further correspondences.

The Certification of the adequacy of the absorption trench system for the surface area being drained shall also be provided by the hydraulics engineer. Final design of the absorption trenches must be submitted for the approval of the geotechnical engineers, eiaustralia.

Design details and certification shall be submitted for approval **with the Construction Certificate application**.

- (c) All surface water runoff such as driveway/pavers from the outbuilding shall be connected to a 5000 litre rainwater tank and overflow from the rainwater tank shall drain to a suitably designed absorption trench in the rear yard. Such trenches must be located at least 3m from any property boundary and be constructed across the contour of the land.

The design of this proposed drainage system must be prepared by a qualified practicing hydraulics engineer (with details of qualifications being provided), in consultation with the geotechnical engineers' eiaustralia.

Reference shall be made to the borehole infiltration testing results and reports dated 4 November 2016, E22990 GB_Rev4 prepared by eiaustralia and further correspondences.

The Certification of the adequacy of the absorption trench system for the surface area being drained shall also be provided by the hydraulics engineer. Final design of the absorption trenches must be submitted for the approval of the geotechnical engineers, eiaustralia

Design details and certification shall be submitted for approval **with the Construction Certificate application.**

12. CC3004 - **Development Engineering - Stormwater**

Reference No.	Date	Description	Revision	Prepared by
2015328 H2	2/09/2016	Hydraulic details	2	ANA civil Pty. Ltd.

The above submitted stormwater plan has been assessed as a concept plan only and no detailed assessment of the design has been undertaken.

Stormwater drainage plans including pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits prepared by a qualified practising hydraulics engineer (with details of qualifications being provided) in accordance with the Australian Institute of Engineers Australian Rainfall and Runoff (1987) and Council's Stormwater Drainage Guidelines, **shall accompany the application for the Construction Certificate.**

13. CC3018 - **Development Engineering - Existing Sewer Main** - Council's records indicate that a Sewer main passes through the site.

The requirements of Sydney Waters shall be satisfied for the construction of the proposed building.

14. CC7012 - **Building - Swimming Pool Design and Construction** - The design and construction of the swimming pool and associated fencing and equipment must comply with:

- (a) The Swimming Pools Act 1992 and Regulation 2008
- (b) Building Code of Australia
- (c) Australian Standard 1926.1-2007 - Swimming Pool Safety
- (d) Council's Development Control
- (e) Protection of the Environment Operations Act 1997
- (f) AS1926.3-2010 - Water Recirculation Systems

No water must be placed in the pool/spa until the safety fences have been completed in accordance with the approved plans and specifications and satisfactorily inspected by the Principal Certifying Authority.

15. **CC7013 - Building - Swimming Pools - Use and Maintenance** - The following apply to the construction, use and maintenance of swimming pools and spas:
- (a) no ground level may be raised or filled except where shown specifically on the approved plans;
 - (b) all pool/spa waste water is to be discharged to the sewer according to the requirements of Sydney Water;
 - (c) the swimming pool must not be used for commercial or professional purposes;
 - (d) pool water quality must be maintained to Council's satisfaction;
 - (e) install a hydrostatic pressure relief valve in the base of the pool (in ground pools);
 - (f) provide permanently fixed depth markers at each end of the pool;
 - (g) drain paved areas to the landscaped areas;
 - (h) arrange any external pool/spa lighting to minimise glare nuisance to adjoining owners; and
 - (i) operation and sound emissions of swimming pool pump and filter equipment are to be in accordance with the POEO Act and Department of Environment and Conservation Guidelines.
16. **CC2001 - Development Assessment - Erosion and Sedimentation Control** - Erosion and sediment controls must be provided to ensure:
- (a) Compliance with the approved Erosion and Sediment Control Plan
 - (b) Removal or disturbance of vegetation and top soil is confined to within 3m of the approved building area (no trees to be removed without approval)
 - (c) all clean water run-off is diverted around cleared or exposed areas
 - (d) silt fences, stabilised entry/exit points or other devices are installed to prevent sediment from entering drainage systems or waterways
 - (e) all erosion and sediment controls are fully maintained for the duration of demolition, excavation and/or development works
 - (f) controls are put into place to prevent tracking of sediment by vehicles onto adjoining roadway
 - (g) all disturbed areas are rendered erosion-resistant by turfing, mulching, paving or similar
 - (h) Compliance with Managing Urban Stormwater - Soils and Construction (Blue Book) produced by Landcom 2004.

These measures are to be implemented before the commencement of work (including demolition and excavation) and must remain until the issue of the Occupation Certificate.

17. **CC2009 - Development Assessment - Pre-Construction Dilapidation Report - Private Land** - A qualified structural engineer shall prepare a Pre-Construction Dilapidation Report detailing the current structural condition of adjoining premises including but not limited to all properties with a boundary adjoining the site.

The report shall be prepared at the expense of the beneficiary of the consent and submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

A copy of the pre-construction dilapidation report is to be provided to the adjoining properties (subject of the dilapidation report), a minimum of five (5) working days prior to the commencement of work. Evidence confirming that a copy of the pre-construction dilapidation report was delivered to the adjoining properties must be provided to the Principal Certifying Authority.

18. **CC2002 - Development Assessment - Site Management Plan - Minor Development -** A Site Works Plan detailing all weather access control points, sedimentation controls, fencing, builder's site sheds office, amenities, materials storage and unloading arrangements must be submitted with the application for the Construction Certificate.
19. **CC2008 - Development Assessment - Landscape Plan -** A detailed landscape plan, drawn to scale, by a qualified landscape architect or landscape designer, must be submitted prior to the issue of the Construction Certificate. The plan must include:
 - (i) Location of existing and proposed structures on the site including existing trees (if applicable);
 - (ii) Details of earthworks including mounding and retaining walls and planter boxes (if applicable);
 - (iii) Location, numbers and type of plant species;
 - (iv) Details of planting procedure and maintenance;
 - (v) Details of drainage and watering systems.
20. **CC2011 - Development Assessment - BASIX Commitments -** All energy efficiency measures as detailed in the BASIX Certificate No. 641569S, must be implemented on the plans lodged with the application for the Construction Certificate.
21. **CC2033 - Development Assessment - Compliance with the Swimming Pool Act 1992 -** The alterations and additions to the dwelling house and/or the construction of the new dwelling house subject of this consent must not generate any non-compliances with the Swimming Pools Act 1992, Swimming Pool Regulation 2008, Building Code of Australia and/or AS 1926.1-2007 - Swimming Pool Safety. Details of compliance to be illustrated on the plans lodged with the application for the Construction Certificate.
22. **CC5002 - Trees - Tree Protection and Retention -** All trees located at 21 and 25 Marine Drive, Oatley are to be retained, protected and maintained during demolition, excavation and construction of the site. The tree protection measures must be undertaken in accordance *AS4970-2009 Protection of trees on development sites*. Details of the tree protection measures to be implemented must be provided with the application for a Construction Certificate by a suitably qualified Arborist (AQF Level 4 or above in Arboriculture) and must be retained thorough all stages of construction.
23. **CC5003 - Trees - Tree Removal and Replacement - Private Land -** Permission is granted for the removal of the trees as recommended by the 'Arboricultural Report and Construction Impact Assessment' prepared by NSW Tree Services Pty Ltd dated 29 September 2015.

The following replacement trees are to be incorporated into the landscape plan and planted prior to the issue of an Occupation Certificate.

- Three (3) x *Angophora costata* to be planted in the same location as T6, T7 and T8.
- Three (3) x *Angophora costata* to be planted 3m apart at the rear of the property behind the entertainment area located adjacent to T1.
- Two (2) x *Eucalyptus haemastoma*.are to be planted on the site within the front setback of the property.

The minimum pot size at time of planting will be equivalent to 75 litre (min) containerised stock. The trees are to conform to the NATSPEC guide for assessing the quality of and purchasing of landscape trees by Ross Clarke, 2003

Details of the species and planting locations of the replacement plants must be included on the landscape plan and site plan prior to the issue of a Construction Certificate.

If the replacement trees are found to be faulty, damaged, dying or dead within twelve (12) months of planting then they must be replaced with the same species. If the trees are found dead before they reach a height where they are protected by Council's Tree Management Controls, they must be replaced with the same species.

All advanced trees are to be planted in holes at least 450mm square and 450mm deep, containing good quality soil and humus. In lawn areas, grass is to be kept back for a radius of at least 450mm from stems and trunks, a depression should be formed for the collection of water and the area mulched. The mulch is to be installed to a depth of 75-90mm to all mass planted garden areas and around the base of the trees in lawn areas.

24. **CC7004 - Building - Structural details** - Structural plans, specifications and design statement prepared and endorsed by a suitably qualified practising structural engineer who holds the applicable Certificate of Accreditation as required under the Building Professionals Act 2005 shall be submitted along with the Construction Certificate application to the Certifying Authority for any of the following, as required by the building design:

- (a) piers
- (b) footings
- (c) slabs
- (d) columns
- (e) structural steel
- (f) reinforced building elements
- (g) swimming pool design
- (h) retaining walls
- (i) stabilizing works
- (j) structural framework

25. **CC7010 - Building - Geotechnical Reports** - The applicant must submit a Geotechnical Report, prepared by a suitably qualified Geotechnical Engineer who holds the relevant Certificate of accreditation as required under the Building Professionals Act 2005 in relation to dilapidation reports, all site works and construction. This is to be submitted **before the issue of the Construction Certificate** and is to include:

- (a) Investigations certifying the stability of the site and specifying the design constraints to be placed on the foundation, any earthworks/stabilization works and any excavations.
- (b) Dilapidation Reports on the adjoining properties including all properties with a boundary adjoining the site, prior to any excavation or site works. The Dilapidation Report is to include assessments on, but not limited to, the dwellings at those addresses and any outbuildings, structure, swimming pools, external paths, grounds etc. This must be submitted to the Certifying Authority and the adjoining residents as part of the application for the Construction Certificate. Adjoining residents are to be provided with the report five (5) working days prior to any works on the site.

- (c) On-site guidance by a vibration specialist during the early part of excavation.
- (d) Rock breaking techniques. Rock excavation is to be carried out with tools such as rock saws which reduce vibration to adjoining buildings and associated structures.
- (e) Sides of the excavation are to be pierced prior to any excavation occurring to reinforce the walls of the excavation to prevent any subsidence to the required setbacks and neighbouring sites.

26. **CC3004 - Development Engineering - Stormwater Drainage Plans** - Stormwater drainage plans including pipe sizes, type, grade, length, invert levels, dimensions and types of drainage pits prepared by a qualified practising hydraulics engineer (with details of qualifications being provided) in accordance with the Australian Institute of Engineers Australian Rainfall and Runoff (1987) and Council's Stormwater Drainage Guidelines, **shall accompany the application for the Construction Certificate.**

PRIOR TO THE COMMENCEMENT OF WORK (INCLUDING DEMOLITION AND EXCAVATION)

These conditions have been imposed to ensure that all pre-commencement matters are dealt with and finalised prior to the commencement of work.

27. **PREC2001 - Building regulation - Site sign - Soil and Erosion Control Measures** - Prior to the commencement of works (including demolition and excavation), the durable site sign issued by Georges River Council in conjunction with this consent must be erected in a prominent location on site. The site sign warns of the penalties which apply to pollution, storing materials on road or footpath and breaches of the conditions relating to erosion and sediment controls. The sign must remain in a prominent location on site up until the completion of all site and building works.
28. **PREC2002 - Development Assessment - Demolition and Asbestos** - The demolition work shall comply with the provisions of Australian Standard AS2601:2011 - Demolition of Structures, NSW Work Health and Safety Act 2011 and the NSW Work Health and Safety Regulation 2011. The work plans required by AS2601-2001 shall be accompanied by a written statement by a suitably qualified person that the proposals contained in the work plan comply with the safety requirements of the Standard. The work plans and the safety statement shall be submitted to the Principal Certifying Authority prior to the commencement of works.

For demolition work which involves the removal of asbestos, the asbestos removal work must be carried out by a licensed asbestos removalist who is licensed to carry out the work in accordance with the NSW Work Health and Safety Act 2011 and the NSW Work Health and Safety Regulation 2011 unless specified in the Act and/or Regulation that a license is not required.

The asbestos removal work shall also be undertaken in accordance with the How to Safely Remove Asbestos: Code of Practice published by Work Cover NSW.

Copies of the Act, Regulation and Code of Practice can be downloaded free of charge from the Work Cover NSW website: www.workcover.nsw.gov.au

29. **PREC2008 - Development Assessment - Demolition Notification Requirements** - The following notification requirements apply to this consent:

- a) The developer /builder must notify adjoining residents five (5) working days prior to demolition. Such notification is to be a clearly written note giving the date demolition will commence, contact details of the developer/builder, licensed asbestos demolisher and the appropriate regulatory authority. Notification is to be placed in the letterbox of every premises (including every residential flat or unit, if any) either side and immediately at the rear of the demolition site.
 - b) Five (5) working days prior to demolition, the developer/builder is to provide written notification to Georges River Council advising of the demolition date, details of the WorkCover licensed asbestos demolisher and the list of residents advised of the demolition.
 - c) On demolition sites where buildings to be demolished contain asbestos, a standard commercially manufactured sign containing the words “DANGER ASBESTOS REMOVAL IN PROGRESS” measuring not less than 400mm x 300mm is to be erected in a prominent visible position (from street frontage) on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos material has been removed from the site to an approved waste facility.
30. **PREC2009 - Development Assessment - Demolition work involving asbestos removal** - Work involving bonded asbestos removal work (of an area of more than 10 square metres) or friable asbestos removal work must be undertaken by a person who carries on a business of such removal work in accordance with a licence under clause 458 of the Work Health and Safety Regulation 2011.
31. **PREC6001 - Engineering - Dial before your dig** - The applicant shall contact “Dial Before You Dig on 1100” to obtain a Service Diagram prior to the issuing of the Construction Certificate. The sequence number obtained from “Dial Before You Dig” shall be forwarded to Council’s Engineers for their records.
32. **PREC7001 - Building - Registered Surveyor’s Report - During Development Work** - A report must be submitted to the Principal Certifying Authority at each of the following applicable stages of construction:
- (a) Set out before commencing excavation.
 - (b) Floor slabs or foundation wall, before formwork or commencing brickwork.
 - (c) Completion of Foundation Walls - Before any construction of flooring, detailing the location of the structure relative to adjacent boundaries and floor levels relative to the datum shown on the approved plans.
 - (d) Completion of Floor Slab Formwork - Before pouring of concrete/walls construction, detailing the location of the structure relative to adjacent boundaries and floor levels relative to the datum shown on the approved plans. In multi-storey buildings a further survey must be provided at each subsequent storey.
 - (e) Completion of any Pool Formwork - Before concreting of pool shell, detailing the location of the pool relative to the adjacent boundaries and its height relative to the datum shown on the approved plans.

- (f) Completion of any Roof Framing - Before roof covered detailing eaves/gutter setback from boundaries.
- (g) Completion of all Work - Detailing the location of the structure (including eaves/gutters) relative to adjacent boundaries and its height relative to the datum shown on the approved plans. A final Check Survey must indicate the reduced level of the main ridge.
- (h) Other.

Work must not proceed beyond each stage until the Principal Certifying Authority is satisfied that the height and location of the building is proceeding in accordance with the approved plans.

DURING WORK

These conditions have been imposed to ensure that there is minimal impact on the adjoining development and surrounding locality during the construction phase of the development.

- 33. **CON2001 - Development Assessment - Hours of construction, demolition and building related work** - Any work activity or activity associated with the development consent that requires the use of any tools (including hand tools) or any power operated plant and machinery that creates noise on or adjacent to the site shall not be performed, or permitted to be performed, except between the hours of 7.00 am to 5.00 pm, Monday to Saturday inclusive. No work or ancillary activity shall be permitted to be performed on any Sunday, Good Friday, Christmas Day or any Public Holiday. A penalty infringement notice may be issued for any offence.

In addition to the foregoing requirements, construction work on all buildings (except that on single dwelling houses and associated structures on the site of a single dwelling house) shall be prohibited on Saturdays and Sundays on weekends adjacent to a public holiday.

- 34. **CON2002 - Development Assessment - Ground levels and retaining walls** - The ground levels of the site shall not be excavated, raised or filled, or retaining walls constructed on the allotment boundary, except where indicated on approved plans or approved separately by Council.
- 35. **CON2003 - Development Assessment - Swimming Pools - Filling with water** - No water must be placed in the pool/spa until the safety fences have been completed in accordance with the approved plans and specifications and inspected by the Principal Certifying Authority.
- 36. **CON2009 - Development Assessment - Removal & filling of Swimming Pools**
 - (a) The site of the swimming pool must be filled (if necessary) so as to restore the site to the ground level (existing) adjacent to the pool, taking into account any sloping of the site, and
 - (b) The swimming pool must not be filled with building demolition waste of any kind and if constructed as a concrete shell must be demolished so as to allow ground water to escape or drain to groundwater and
 - (c) The fill must be certified clean imported soil or virgin excavated material (VENM) and compacted, and
 - (d) Any piping or similar material must be removed from the site before the site is filled.

37. **CON6002 - Engineering - Obstruction of Road or Footpath** - The use of the road or footpath for the storage of any building materials, waste materials, temporary toilets, waste or skip bins, or any other matter is not permitted unless separately approved by Council under Section 138 of the Roads Act and/or under Section 68 of the Local Government Act 1993. Penalty Infringement Notices may be issued for any offences and severe penalties apply.
38. **CON8001 - Waste - Waste Management Facility** - All materials removed from the site as a result of demolition, site clearing, site preparation and, or excavation shall be disposed of at a suitable Waste Management Facility. No vegetation, article, building material, waste or the like shall be ignited or burnt whatsoever or in association with the work on site. Copies of all receipts for the disposal, or processing of all such materials shall be submitted to the Principal Certifying Authority and a copy provided to the Manager Environmental Services, Georges River Council.

PRIOR TO THE ISSUE OF THE OCCUPATION CERTIFICATE

These conditions have been imposed to ensure that all works have been completed in accordance with the Development Consent prior to the issue of the Occupation Certificate.

39. **OCC4011 - Health - Public Swimming Pool/Spa - Registration** - Prior to the issue of any Occupation Certificate or occupation or use of any public pool/spa premises:
 - (a) An inspection of the fit out of the public pool/spa premises must be arranged with Council's Environmental Health Officer;
 - (b) a satisfactory final inspection must have been undertaken by Council's Environmental Health Officer; and
 - (c) the public pool/spa premises must be registered with Georges River Council (Notification of conduct under Part 3, Clause 19 of the Public Health Regulation 2012 (as amended)).
40. **OCC2006 - Development Assessment - Post Construction Dilapidation report - Private Land** - At the completion of the construction works, a suitably qualified person is to be engaged to prepare a post-construction dilapidation report. This report is to ascertain whether the construction works associated with the subject development created any structural damage to the following adjoining premises:
 - (a) All properties with a boundary adjoining the site.

The report is to be prepared at the expense of the beneficiary of the consent and submitted to the Principal Certifying Authority (PCA) prior to the issue of the Occupation Certificate. In ascertaining whether adverse structural damaged has occurred to the adjoining premises, the PCA, must compare the post construction dilapidation report with the pre-construction dilapidation report required by conditions in this consent.

Evidence confirming that a copy of the post construction dilapidation report was delivered to the adjoining properties subject of the dilapidation report must be provided to the PCA prior to the issue of the Occupation Certificate.

41. OCC2004 - **Development Assessment - BASIX Compliance Certificate** - A Compliance Certificate must be provided to the Principal Certifying Authority regarding the implementation of all energy efficiency measures as detailed in the BASIX Certificate No. 641569S, and in the plans approved with the Development Consent/ Construction Certificate, before issue of the Occupation Certificate.
42. OCC2005 - **Development Assessment - Completion of Landscape Works** - All landscape works must be completed before the issue of the Final Occupation Certificate.
43. OCC6001 - **Engineering - Vehicular crossing - Minor development** - The vehicular crossing and/or footpath works shall be constructed by a private contractor at the expense of the beneficiary of this consent, in accordance with the *Vehicular Crossing Approval* issued by Council's Engineering Services Division and in accordance with Council's Specification for Vehicular Crossings and Associated Works and the issued.

Any existing vehicular crossing and/or laybacks which are redundant must be removed. The kerb and gutter, any other footpath and turf areas shall be restored at the expense of the beneficiary of this consent and in accordance with Council's Specification for Vehicular Crossings and Associated Works.

Please Note: No stencilled or coloured concrete may be used outside the boundary of the property.

The work must be completed **before the issue of an Occupation Certificate.**

ONGOING CONDITIONS

These conditions have been imposed to ensure that the use or operation of the development does not adversely impact on the amenity of the neighbourhood or environment.

44. ONG2006 - **Development Assessment - Restriction as to use** - The approved entertainment area/gym is not to be used as a secondary dwelling at any time.
45. ONG2004 - **Development Assessment - Swimming Pools - Resuscitation Notice** - An expired air resuscitation warning notice complying with the Swimming Pools Act, 1992 must be affixed in a prominent position adjacent to the pool.
46. ONG4039 - **Health - Swimming Pools and Spas - Pump Noise** - The swimming pool/spa pump and associated equipment must be located so that the noise emitted does not exceed 5dB(A) above the background level.

If this cannot be achieved, a ventilated and sound-proofed enclosure must enclose the pump to achieve the required noise levels.

47. ONG4040 - **Health - Swimming Pools and Spas - Operation** - The operation of the pool/spa is to comply with the requirements of the:
 - (a) Public Health Act 2010 (as amended),
 - (b) Public Health Regulation 2012 (as amended),
 - (c) NSW Health Department Public Swimming Pool and Spa Pool Guidelines 1996 (as amended), and
 - (d) Australian Standard AS3633-1989 - Private Swimming Pools - Water quality (as amended).

48. **ONG2003 - Development Assessment - Maintenance of Landscaping** - All trees and plants forming part of the landscaping must be maintained on an ongoing basis. Maintenance includes watering, weeding, removal of rubbish from tree bases, fertilizing, pest and disease control and any other operations required to maintain healthy trees, plants and turfed areas.
49. **ONG4018 - Health - Amenity of the neighbourhood** - The implementation of this development shall not adversely affect the amenity of the neighbourhood or interfere unreasonably with the comfort or repose of a person who is outside the premises by reason of the emission or discharge of noise, fumes, vapour, odour, steam, soot, dust, waste water, waste products, grit, oil or other harmful products.

No vegetation, article, building material, waste or the like shall be ignited or burnt whatsoever or in association with the work on site.

ADVICE

This advice has been included to provide additional information and where available direct the applicant to additional sources of information based on the development type.

50. **ADV2002 - Development Assessment - Site Safety Fencing** - Site fencing must be erected in accordance with WorkCover Guidelines, to exclude public access to the site throughout the demolition and/or construction work, except in the case of alterations to an occupied dwelling. The fencing must be erected before the commencement of any work and maintained throughout any demolition and construction work.

For more information visit www.workcover.nsw.gov.au

51. **ADV2008 - Development Assessment - Register your swimming pool** - Have you registered your Swimming Pool? All swimming pools in NSW are required to be registered. Fines apply for pools that are not registered. To register please visit: www.swimmingpoolregister.nsw.gov.au/inspection

52. **ADV2009 - Development Assessment - Security deposit administration & compliance fee** - Under Section 97(5) of the Local Government Act 1993, a security deposit (or part) if repaid to the person who provided it is to be repaid with any interest accrued on the deposit (or part) as a consequence of its investment.

Council must cover administration and other costs incurred in the investment of these monies. The current charge is \$50.00 plus 2% of the bond amount per annum.

Interest rate applied to bonds is set at Council's business banking facility rate as at 1 July each year. Council will accept a bank guarantee in lieu of a deposit.

All interest earned on security deposits will be used to offset the Security Deposit Administration and Compliance fee. Where interest earned on a deposit is not sufficient to meet the fee, it will be accepted in full satisfaction of the fee.

Schedule B – Prescribed Conditions

Prescribed conditions are those which are mandated under Division 8A of the *Environmental Planning and Assessment Regulation 2000* and given weight by Section 80A (11) of the *Environmental Planning and Assessment Act 1979*.

Detailed below is a **summary** of all the prescribed conditions which apply to development in New South Wales. Please refer to the full details of the prescribed conditions as in force, at www.legislation.nsw.gov.au.

It is the responsibility of the beneficiary of this consent to determine which prescribed conditions apply.

53. **PRES1001 - Clause 97A – BASIX Commitments** - This Clause requires the fulfilment of all BASIX Commitments as detailed in the BASIX Certificate to which the development relates.
54. **PRES1002 - Clause 98 – Building Code of Australia & Home Building Act 1989** - Requires all building work to be carried out in accordance with the Building Code of Australia. In the case of residential building work to which the Home Building Act 1989 relates, there is a requirement for a contract of insurance to be in force before any work commences.
55. **PRES1003 - Clause 98A – Erection of Signs** - Requires the erection of signs on site and outlines the details which are to be included on the sign. The sign must be displayed in a prominent position on site and include the name and contact details of the Principal Certifying Authority and the Principal Contractor.
56. **PRES1004 - Clause 98B – Home Building Act 1989** - If the development involves residential building work under the Home Building Act 1989, no work is permitted to commence unless certain details are provided in writing to Council. The name and licence/permit number of the Principal Contractor or Owner Builder and the name of the Insurer by which work is insured under Part 6 of the Home Building Act 1989.
57. **PRES1007 - Clause 98E – Protection & support of adjoining premises** - If the development involves excavation that extends below the level of the base of the footings of a building on adjoining land, this prescribed condition requires the person who benefits from the development consent to protect and support the adjoining premises and where necessary underpin the adjoining premises to prevent any damage.

Schedule C – Operational & Statutory Conditions

These conditions comprise the operational and statutory conditions which must be satisfied under the Environmental Planning and Assessment Act 1979 and the Environmental Planning & Assessment Regulation 2000. Please refer to the full details of the Act and Regulations as in force, at www.legislation.nsw.gov.au.

It is the responsibility of the beneficiary of this consent to determine which operational and statutory conditions apply.

58. **OPER1001 - Requirement for a Construction Certificate** - The erection of a building must not commence until a Construction Certificate has been issued by the consent authority, the Council (if the Council is not the consent authority) or an accredited certifier.

An application form for a **Construction Certificate** is attached for your convenience.

59. **OPER1002 - Appointment of a Principal Certifying Authority** - The erection of a building must not commence until the beneficiary of the development consent has:
- (a) appointed a Principal Certifying Authority (PCA) for the building work; and
 - (b) if relevant, advised the PCA that the work will be undertaken as an Owner-Builder.

If the work is not going to be undertaken by an Owner-Builder, then the beneficiary of the consent must:

- (a) appoint a Principal Contractor to undertake the building work. If residential building work (within the meaning of the Home Building Act 1989) is to be undertaken, the Principal Contractor must be a holder of a contractor licence; and
- (b) notify the PCA of the details of any such appointment; and
- (c) notify the Principal Contractor of any critical stage inspections or other inspections that are required to be carried out in respect of the building work.

An **Information Pack** is attached for your convenience should you wish to appoint Georges River Council as the Principal Certifying Authority for your development.

60. **OPER1003 - Notification of Critical Stage Inspections** - No later than two (2) days before the building work commences, the PCA must notify:

- (a) the consent authority and the Council (if not the consent authority) of his or her appointment; and
- (b) the beneficiary of the development consent of the critical stage inspections and other inspections that are to be carried out with respect to the building work.

61. **OPER1004 - Notice of Commencement** - The beneficiary of the development consent must give at least two (2) days notice to the Council and the PCA of their intention to commence the erection of a building.

A **Notice of Commencement Form** is attached for your convenience.

62. **OPER1007 - Critical Stage Inspections** - The last critical stage inspection must be undertaken by the Principal Certifying Authority. The critical stage inspections required to be carried out vary according to Building Class under the Building Code of Australia and are listed in Clause 162A of the Environmental Planning and Assessment Regulation 2000.

63. **OPER1008 - Notice to be given prior to critical stage inspections** - The principal contractor for a building site, or the owner-builder, must notify the principal certifying authority at least 48 hours before each required inspection needs to be carried out.

Where Georges River Council has been appointed PCA, forty eight (48) hours notice in writing, or alternatively twenty four (24) hours notice by facsimile or telephone, must be given to when specified work requiring inspection has been completed.

64. **OPER1009 - Occupation Certificate** - A person must not commence occupation or use of the whole or any part of a new building unless an Occupation Certificate has been issued in relation to the building or part.

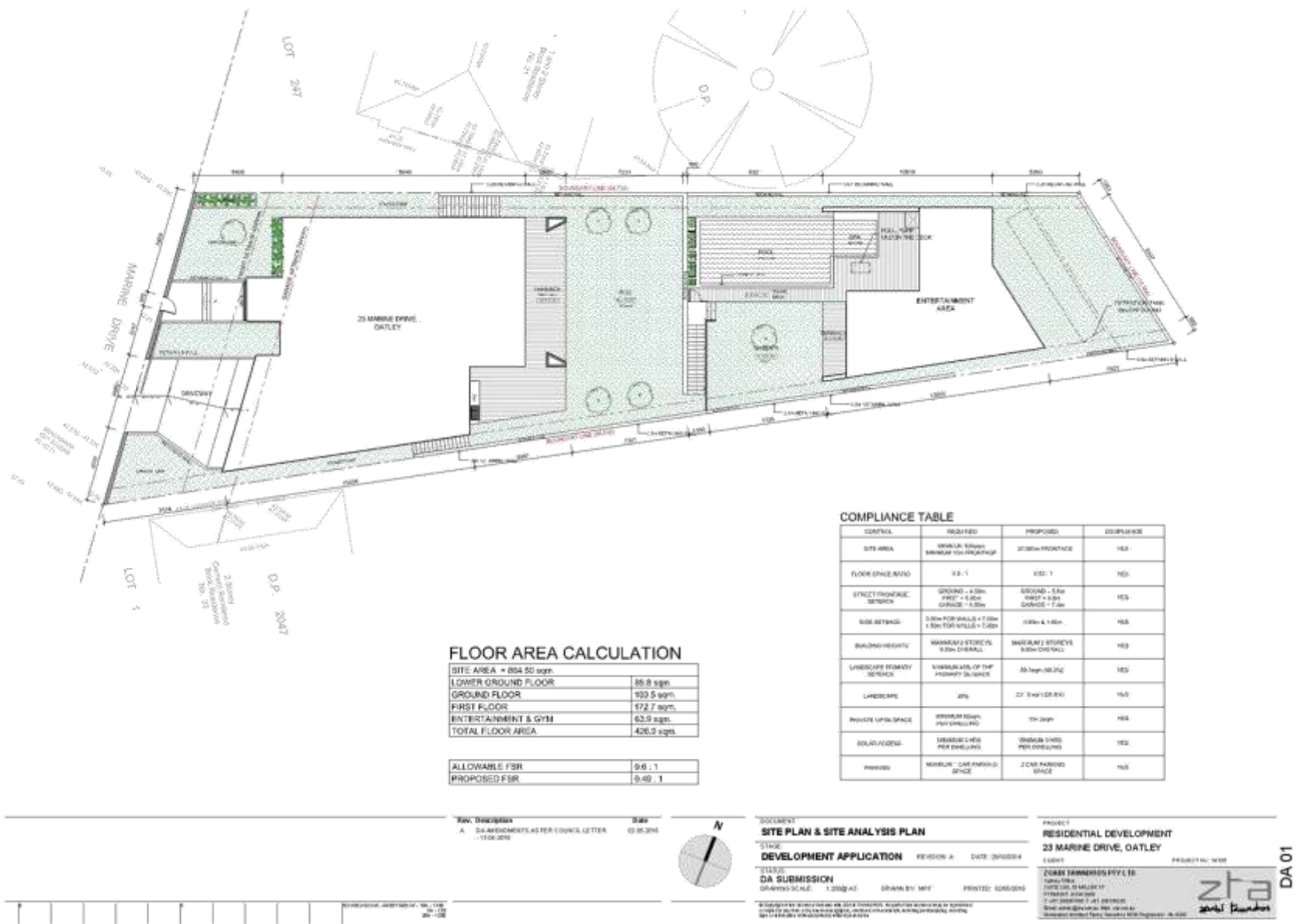
Only the Principal Certifying Authority appointed for the building work can issue the Occupation Certificate.

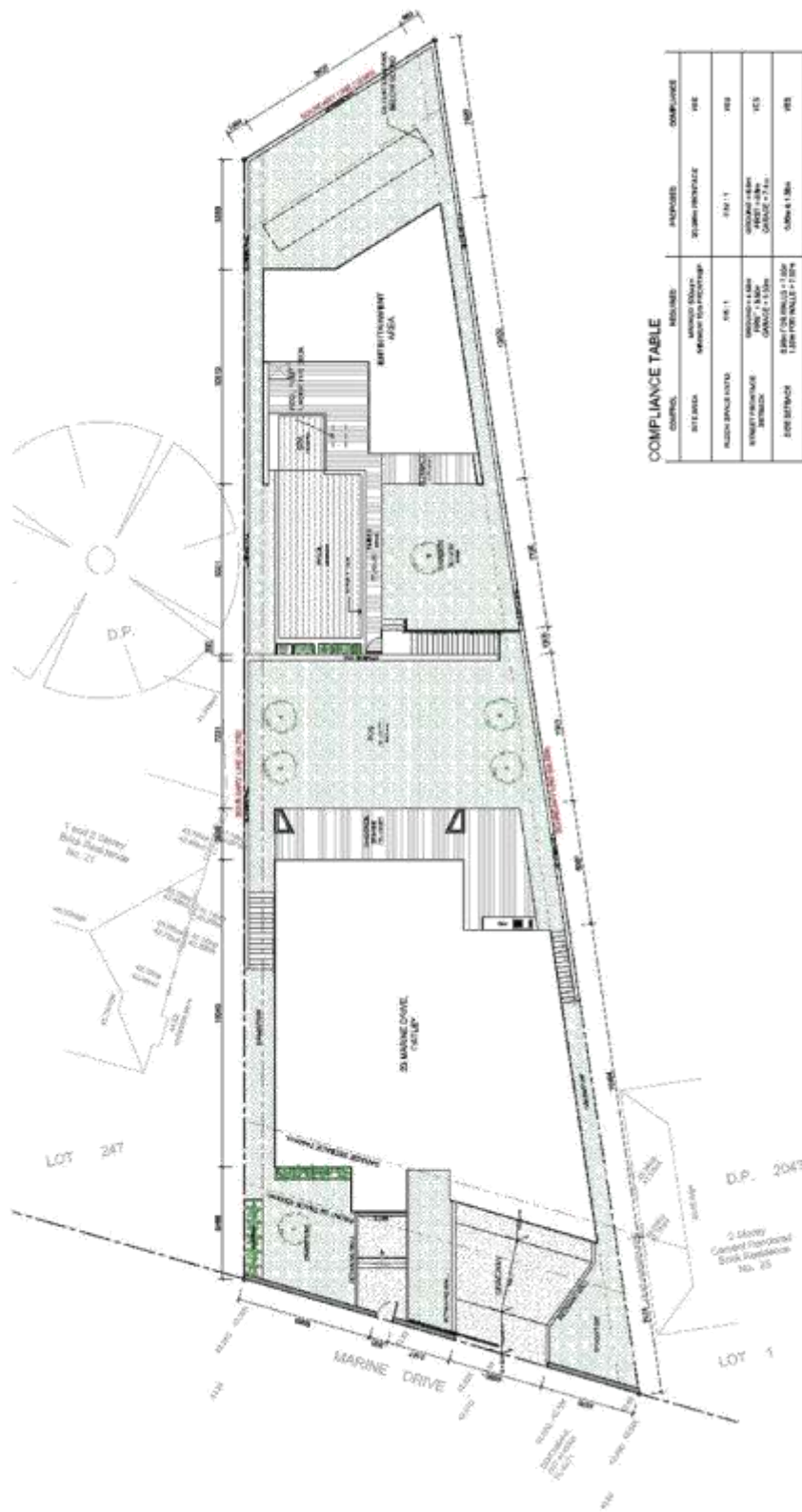
An **Occupation Certificate** Application Form is attached for your convenience.

If you need more information, please contact the Senior Development Assessment Officer, below on 9330-6400 during normal office hours.

ATTACHMENTS

- | | |
|-----------------------------------|---|
| Attachment View 1 | Amended site plan with retaining walls - 23 Marine Drive Oatley |
| Attachment View 2 | Plans - 23 Marine Dr Oatley |
| Attachment View 3 | Concept stormwater plans - 23 Marine Dr |





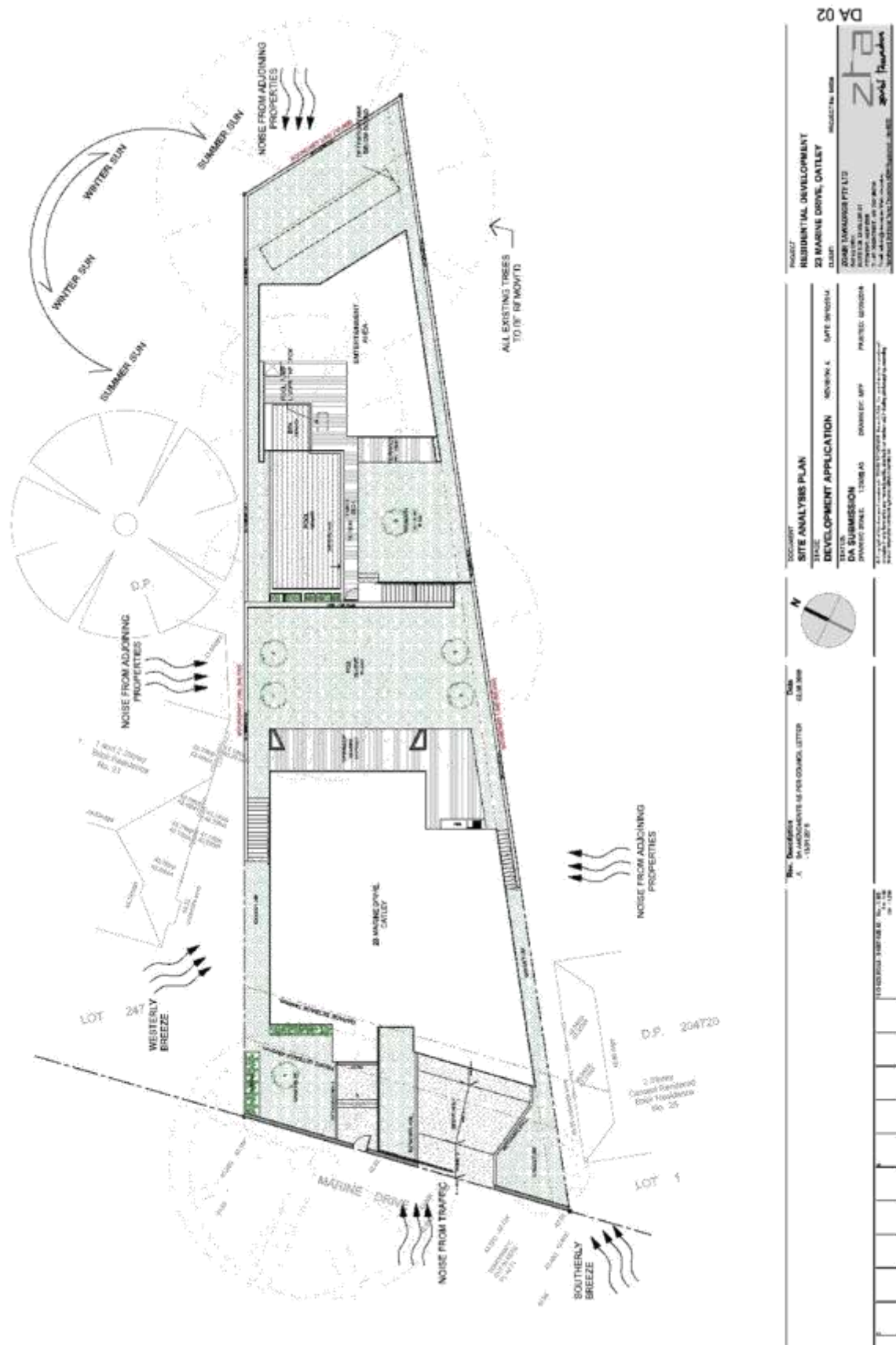
COMPLIANCE TABLE

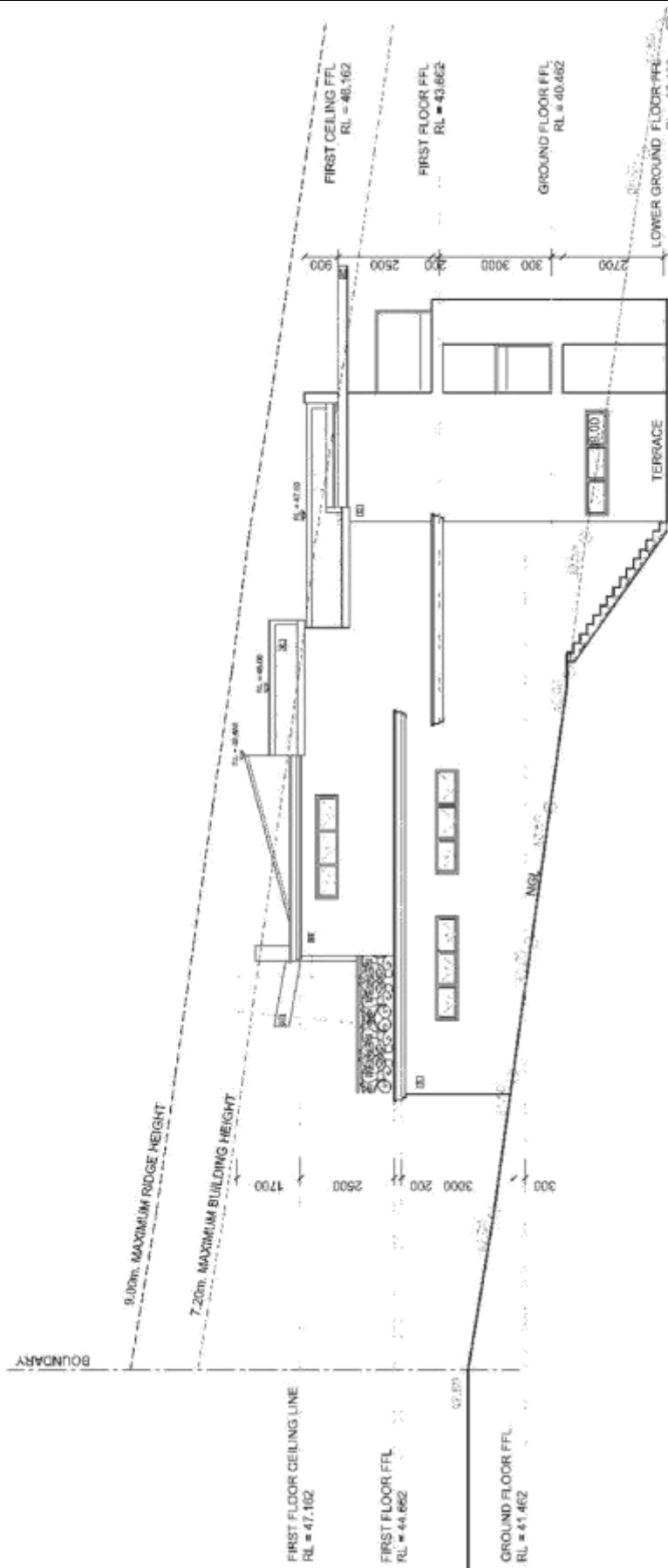
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FLOOR AREA CALCULATION

SITE AREA = 864.90 sqm.	69.8 sqm
LOWERS GROUND FLOOR	150.5 sqm
GROUND FLOOR	172.7 sqm
FIRST FLOOR	63.9 sqm
ENTRANCEMENT & GYM	408.9 sqm
TOTAL FLOOR AREA	
ALLOWABLE FSR	0.5 : 1
COVERED AREA	0.42%

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
<p>1. Project Name: Residential Development 2. Location: 22 Marine Drive, Outlet 3. Owner: [Redacted] 4. Architect: [Redacted] 5. Engineer: [Redacted] 6. Surveyor: [Redacted] 7. Inspector: [Redacted] 8. Inspector's License No.: [Redacted] 9. Inspector's Name: [Redacted] 10. Inspector's Title: [Redacted] 11. Inspector's Address: [Redacted] 12. Inspector's Phone: [Redacted] 13. Inspector's Email: [Redacted] 14. Inspector's Signature: [Redacted] 15. Inspector's Date: [Redacted] 16. Inspector's Title: [Redacted] 17. Inspector's Address: [Redacted] 18. Inspector's Phone: [Redacted] 19. Inspector's Email: [Redacted] 20. Inspector's Signature: [Redacted] 21. Inspector's Date: [Redacted] 22. Inspector's Title: [Redacted] 23. Inspector's Address: [Redacted] 24. Inspector's Phone: [Redacted] 25. Inspector's Email: [Redacted] 26. Inspector's Signature: [Redacted] 27. Inspector's Date: [Redacted] 28. Inspector's Title: [Redacted] 29. Inspector's Address: [Redacted] 30. 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Inspector's Phone: [Redacted] 169. Inspector's Email: [Redacted] 170. Inspector's Signature:</p>																																																																																																			

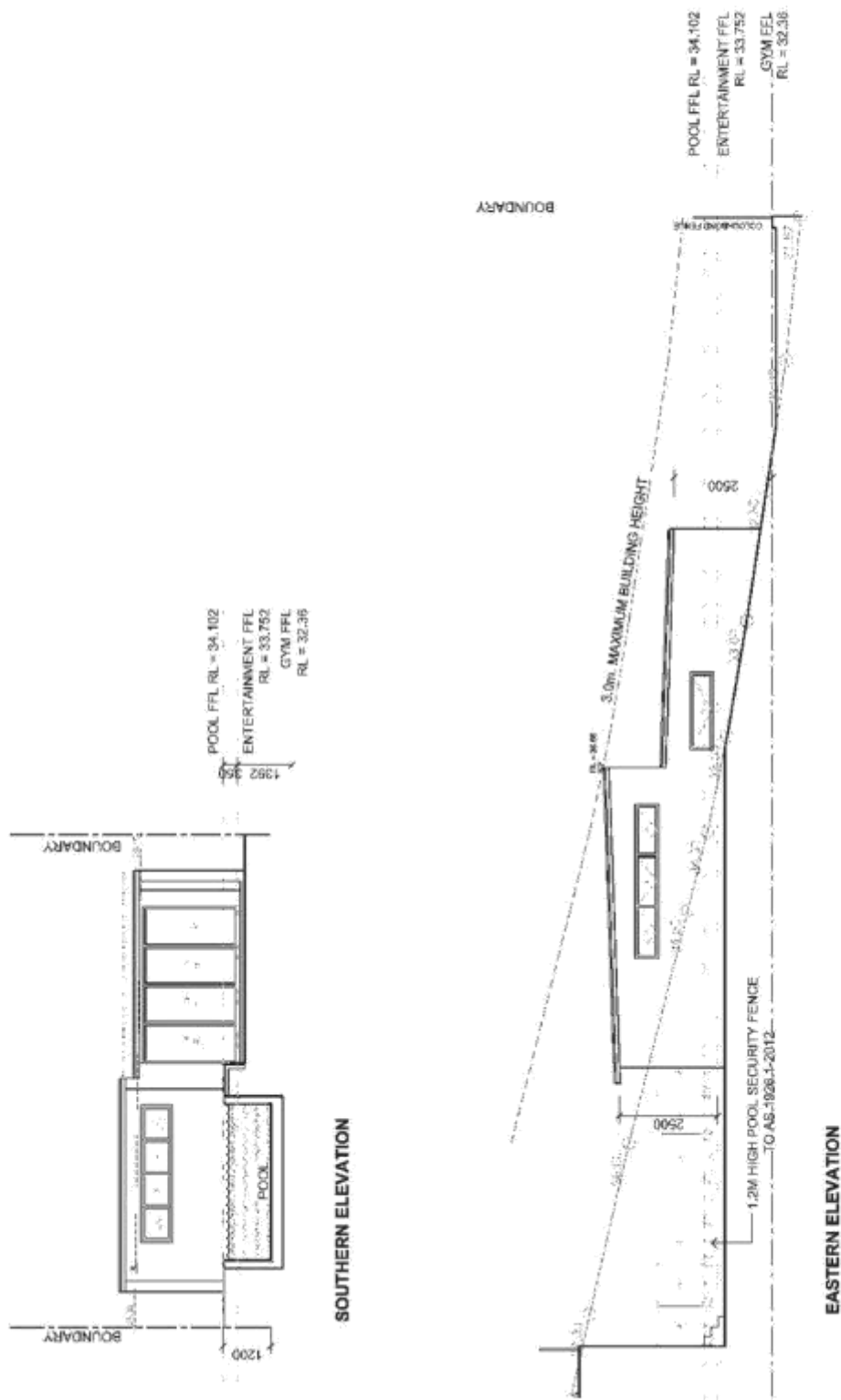




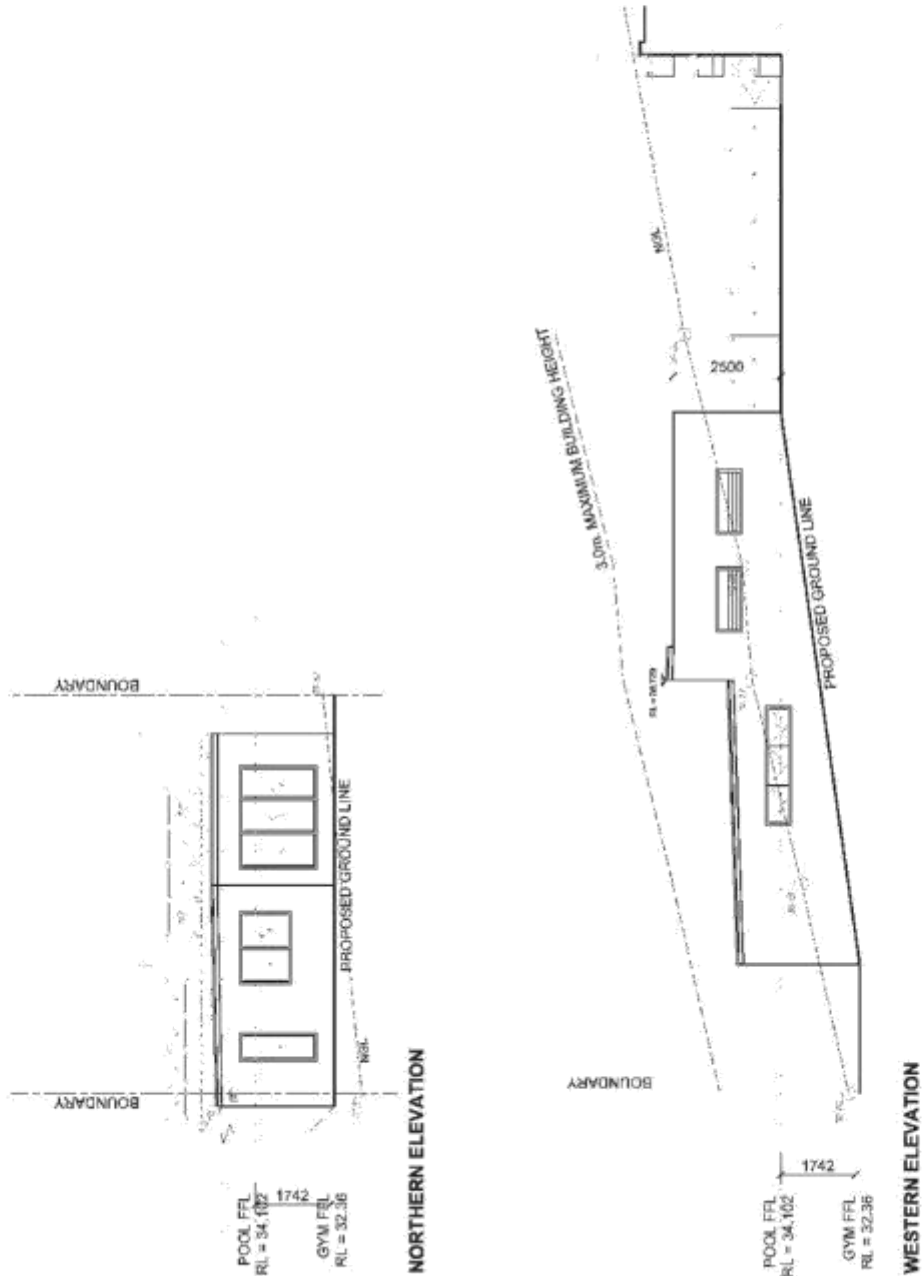
LEGEND: (R) REFERENCE (E) EXISTING (C) CONSTRUCTION		REVISIONS: NO. DESCRIPTION OF REVISION DATE 1. 10.04.2016		DATE: 10.04.2016	
PROJECT: RESIDENTIAL DEVELOPMENT 23 MARINE DRIVE, OATLEY		CLIENT: 2000 JAMARION PTY LTD		PROJECTING: 2000 JAMARION PTY LTD	
DESIGNER: DA SUBMISSION		DATE: 11.03.16		DATE: 24.10.16	
PROJECTING: 2000 JAMARION PTY LTD		DATE: 11.03.16		DATE: 24.10.16	
PROJECTING: 2000 JAMARION PTY LTD		DATE: 11.03.16		DATE: 24.10.16	

DA 11

23



LEGEND: (R) REUSE (A) AUTOCAD LAYOUT (E) EXISTING (N) NOT TO SCALE (S) SHOWN FOR REFERENCE		REVISIONS: NO. DESCRIPTION 1. 11/04/2016		DATE: 11/04/2016	
PROJECT: RESIDENTIAL DEVELOPMENT 23 MARINE DRIVE, OATLEY		CLIENT: 20000 TAMMARTON PTY LTD		PROJECT NO.: 23/01	
DESIGNER: DA SUBMISSION		DATE: 11/04/2016		PROJECT NO.: 23/01	
PROJECT NO.: 23/01		DATE: 11/04/2016		PROJECT NO.: 23/01	



LEGEND: (B) BOUNDARY (P) POOL (G) GYM (D) DRIVEWAY (E) EXISTING (N) NEW		REVISIONS: NO. DESCRIPTION 1. 17/08/16 DA SUBMISSION 2. 17/08/16 DA SUBMISSION		DATE: 17/08/16 SCALE: 1:100	
PROJECT: 23 MARINE DRIVE, OATLEY 2000 1000000 PTV LTD		CLIENT: 2000 1000000 PTV LTD		DATE: 17/08/16 SCALE: 1:100	
PROJECT: 23 MARINE DRIVE, OATLEY 2000 1000000 PTV LTD		CLIENT: 2000 1000000 PTV LTD		DATE: 17/08/16 SCALE: 1:100	



